

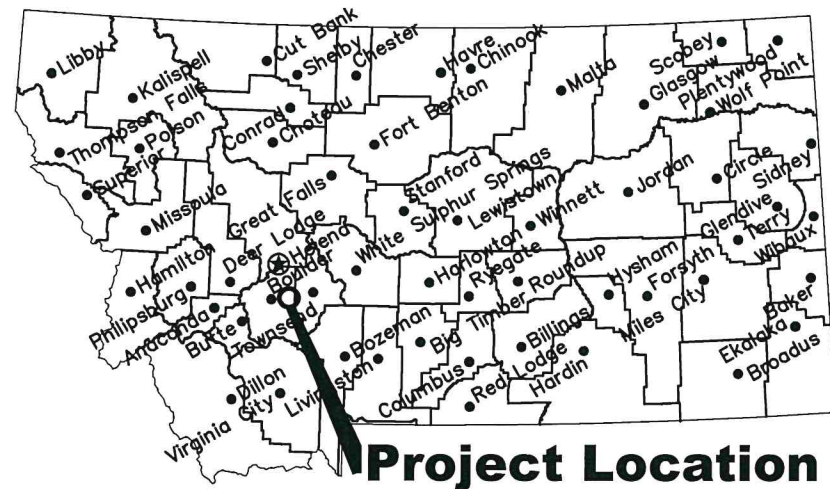
MONTANA FISH, WILDLIFE & PARKS

ELKHORN STATE PARK

HISTORIC STRUCTURE ROOFING

ELKHORN, MT

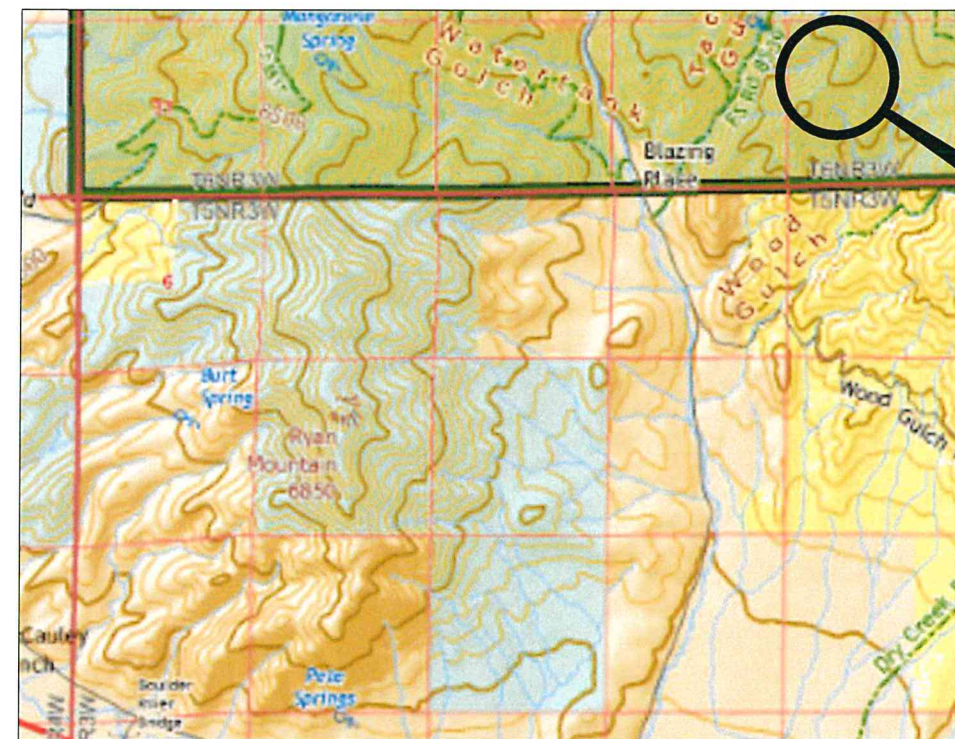
7196106



Project Location

Location Map

No Scale



Project Location

Vicinity Map

No Scale

North

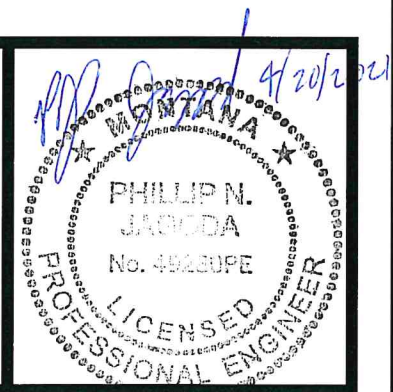


MONTANA FISH, WILDLIFE AND PARKS
DESIGN AND CONSTRUCTION

MAILING ADDRESS: PO BOX 200701
HELENA, MT 59620-0701
TEL 406.841.4000
FAX 406.841.4004
fwp.mt.gov/Doing Business/Design&Construction

PHYSICAL ADDRESS: 1522 9th AVENUE
HELENA, MT 59601

Sheet Number	Sheet Title
1	PROJECT LOCATION AND SHEET INDEX
2	BUILDING LOCATION MAP
3	GILLIAN HALL
4	FRATERNITY HALL
5	ROOFING NOTES AND DETAILS



J. MAXWELL	5/28/20
DRAWN BY:	DATE:
P. JAGODA	3/30/21
CHECKED BY:	DATE:

APPROVED BY:	DATE:
APPROVED BY:	DATE:

APPROVED BY:	DATE:
APPROVED BY:	DATE:



**MONTANA FISH,
WILDLIFE & PARKS**

PROJECT LOCATION AND SHEET INDEX

SHEET: **1**
of **5**



TOWN OF ELKHORN, MT



GILLIAN HALL

FRATERNITY HALL

J. MAXWELL 5/28/20
 DRAWN BY: DATE:
 P. JAGODA 3/30/21
 CHECKED BY: DATE:

REVISED BY: DATE:
 APPROVED BY: DATE:

APPROVED BY: DATE:
 APPROVED BY: DATE:



**MONTANA FISH,
 WILDLIFE & PARKS**

BUILDING LOCATION MAP
 ELKHORN STATE PARK - HISTORIC STRUCTURE ROOFING

SHEET: 2 of 5

SEE NOTES AND DETAILS ON SHEET 5 FOR TYPICAL ROOF REPLACEMENT INFORMATION.

CHIMNEY TO BE REPAIRED UNDER SEPARATE CONTRACT

BASED ON PRIOR RECORDS, BUILDING DIMENSIONS ARE APPROX. 24' X 48'. ROOF PITCH IS APPROX. 7-1/2:12. VERIFY ALL DIMENSIONS.



VIEW OF NORTHEAST ROOF SLOPE, REAR OF BUILDING



VIEW OF NORTHEAST ROOF SLOPE, FRONT OF BUILDING



VIEW OF SOUTHWEST ROOF SLOPE, FRONT OF BUILDING



VIEW OF SOUTHWEST ROOF SLOPE, REAR OF BUILDING

J. MAXWELL 5/28/20
 DRAWN BY: DATE:
 P. JAGODA 3/30/21
 CHECKED BY: DATE:

REVISED BY: DATE:
 APPROVED BY: DATE:

APPROVED BY: DATE:
 APPROVED BY: DATE:



**MONTANA FISH,
 WILDLIFE & PARKS**

GILLIAN HALL
 ELKHORN STATE PARK - HISTORIC STRUCTURE ROOFING

SHEET: 3 of 5

SEE NOTES AND DETAILS ON SHEET 5 FOR TYPICAL ROOF REPLACEMENT INFORMATION.

BASED ON PRIOR RECORDS, BUILDING DIMENSIONS ARE APPROX. 28' X 72'. ROOF PITCH IS APPROX. 7-1/2:12. VERIFY ALL DIMENSIONS.



VIEW OF NORTHEAST ROOF SLOPE, REAR OF BUILDING



VIEW OF NORTHEAST ROOF SLOPE, FRONT OF BUILDING



VIEW OF SOUTHWEST ROOF SLOPE, FRONT OF BUILDING



VIEW OF SOUTHWEST ROOF SLOPE, REAR OF BUILDING

J. MAXWELL	5/28/20
DRAWN BY:	DATE:
P. JAGODA	3/30/21
CHECKED BY:	DATE:

REVISOR:	DATE:
APPROVED BY:	DATE:

APPROVED BY:	DATE:
APPROVED BY:	DATE:



**MONTANA FISH,
WILDLIFE & PARKS**

FRATERNITY HALL

ELKHORN STATE PARK - HISTORIC STRUCTURE ROOFING

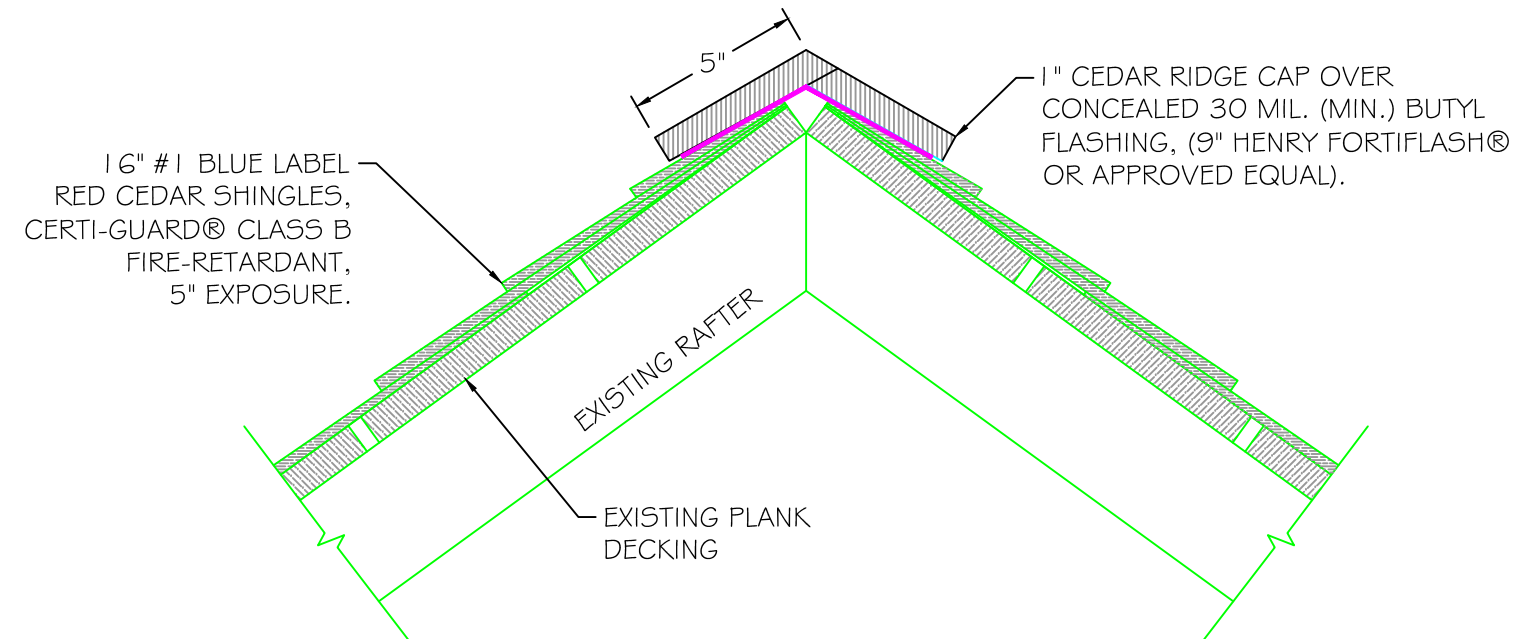
SHEET: 4 of 5

GENERAL NOTES:

1. CONFIRM DIMENSIONS AND LAYOUT FOR QUANTIFYING MATERIALS. SLOPE FACTOR, WASTE, AND OVERLAP IS INCIDENTAL TO THE PROJECT.
2. PROVIDE SUBMITTAL FOR ALL MATERIALS TO OWNER FOR APPROVAL PRIOR TO PROCUREMENT.
3. OBTAIN ALL PERMITS NECESSARY FOR WORK.
4. CONDUCT WORK MONDAY THROUGH FRIDAY, 8:00AM TO 5:00 PM. ADDITIONAL HOURS AND WEEKEND WORK IS SUBJECT TO OWNER APPROVAL.
5. STAGING OF ALL EQUIPMENT AND MATERIALS MUST BE ON STATE PROPERTY OR OTHERWISE ARRANGED BY CONTRACTOR PRIVATELY. MATERIALS STORAGE LOCATION MUST BE APPROVED BY PROJECT MANAGER FOR PAYMENT APPROVAL.
6. PROVIDE DUMPSTERS AND PORTABLE BATHROOM FACILITIES FOR CONTRACTOR USE. ALL REFUSE, REMNANTS, FASTENERS, ETC. MUST BE CLEANED UP AND IS SUBJECT TO OWNER APPROVAL PRIOR TO FINAL PAYMENT.
7. SURROUNDINGS MUST BE LEFT IN PRE-CONSTRUCTION CONDITION.

CONSTRUCTION NOTES:

1. CONSTRUCTION DETAILS & METHODS SHALL COMPLY WITH THE "NEW ROOF CONSTRUCTION MANUAL, 2020 EDITION", PREPARED BY THE CEDAR SHAKE & SHINGLE BUREAU (CSSB). THE CSSB MANUAL SHALL BE REFERENCED FOR CONSTRUCTION METHODS, DETAILS, AND SPECIFICATIONS.
2. SEE INDIVIDUAL SHEETS FOR SPECIFIC NOTES REGARDING EACH STRUCTURE.
3. REMOVE EXISTING RIDGE BOARDS, SHINGLES AND UNSUITABLE FLASHING MATERIALS. DISPOSE OFF-SITE AT LOCATION DETERMINED BY CONTRACTOR.
4. FLASH FALSE FRONT CORNICE TOPS WITH CONTINUOUS 26 GA. GALVANIZED STEEL FLASHING MATERIAL. SEE AERIAL PHOTOS SHOWING THE EXISTING FLASHING AND TRIM. RE-SEAL FLASHING JOINTS WHERE EXISTING FLASHING IS PRESERVED. REPLACE WOOD CORNICE TRIM WITH CEDAR TO MATCH EXISTING.
5. PROVIDE AND INSTALL NEW SHINGLES AND RIDGE BOARDS. RIDGE BOARD JOINTS SHALL BE THE MINIMUM REQUIRED TO SPAN THE LENGTH OF THE ROOF. UNDERLAY RIDGE BOARDS WITH CONTINUOUS 30 MIL (MIN.) BUTYL FLASHING.
6. DO NOT DRIVE NAILS THROUGH DECKING. ANY SPLITTING, INCORRECT NAIL DEPTH, OR RELATED DAMAGE FROM THE NAILING PROCESS SHALL BE CORRECTED AT CONTRACTOR EXPENSE.
7. EXISTING SHINGLES AND RIDGECAP MUST BE REMOVED, LAYERING OVER OLD SHINGLES IS NOT ACCEPTABLE.
8. SHINGLE OVERHANGS: 1 - 1/2" OVERHANG ALONG FRONTS, 3/4" OVERHANG ALONG SIDES. GAP PER MANUFACTURER'S RECOMMENDATIONS, OR 1/8".
9. FIRST ROW SHINGLES SHALL BE DOUBLED.



TYPICAL SHINGLE AND RIDGE CAP
INSTALLATION DETAIL

J. MAXWELL	5/28/20
DRAWN BY:	DATE:
P. JAGODA	3/30/21
CHECKED BY:	DATE:

REVISED BY:	DATE:
APPROVED BY:	DATE:

APPROVED BY:	DATE:
APPROVED BY:	DATE:



**MONTANA FISH,
WILDLIFE & PARKS**

ROOFING NOTES AND DETAILS

ELKHORN STATE PARK - HISTORIC STRUCTURE ROOFING

SHEET: 5 of 5