



# Addendum

## Addendum No. 1

**Date:** 11/4/2021

**Project Number:** 23-153-01

**Project:** **Montana Fish, Wildlife, & Parks**  
Montana Outdoor Office Remodel  
930 Custer Avenue, Helena, Mt 59602

**Bid Date:** 11/18/2021  
3:00 p.m. M.D.T.  
Montana Fish Wildlife & Parks  
1522 9<sup>th</sup>, Ave, MT 59620

Bidders for the above-captioned project are hereby informed that the drawings and/or specifications are modified, corrected, or supplemented as follows. Acknowledge receipt of Addenda on Bid Form.

### **General Notes:**

- ITEM G-1** All re-issued drawings sheets will be indicated with an 'R' at the end of the sheet # (Example A1.1R).
- ITEM G-2** See electrical demo note #3 for smoke detectors to be re-used in the same locations.
- ITEM G-3** A full time superintendent will not be required for this project. However, should be available during normal working hours.
- ITEM G-4** Contractor is responsible for paying for building permit. Should include this in bid price.
- ITEM G-5** Contractor is allowed to use power and water onsite.
- ITEM G-6** Access to site is through south gate along Custer Ave., Owner to coordinate with contractor in receive gate access code. For access before and after normal business hours and weekends.
- ITEM G-7** FWP will coordinate staging area with contractor on-site.
- ITEM G-8** Contractor is responsible for remove of debris from project site.
- ITEM G-9** Existing and New door frames and window trim to be painted as called out on room finish schedule or unless otherwise noted.
- ITEM G-10** **MECHANICAL SPECIFICATION NOTE:** All work shall be in strict compliance with all applicable codes & standards, including but not limited to, 2018 IMC, 2018 UPC, 2018 IBC, 2018 IFGC & 2018 IECC. Contractor shall be responsible for obtaining permits, plan reviews, and all required inspections by the code authorities having jurisdiction. See attached mechanical addendum.
- ITEM G-11** **MECHANICAL SPECIFICATION NOTE:** Testing and balancing of all ducts and grills modified/replaced in this project is required. Testing and balancing is to be done by a NEBB certified balancing agency. See attached mechanical addendum.

**CWG**  
Architecture

Architecture  
Engineering  
Design

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(406) 443-2340

650 Power St  
P.O. Box 1198  
Helena, MT 59624

cwg-architects.com

## Amendments to the Project Manual:

N/A

## Amendments to the Drawings:

- ITEM A-1 SHEET AD1.0R DEMO – FLOOR PLAN:** (2) additional base cabinets to be relocated by contractor. Coordinate location with owner. See re-issued architectural sheet AD1.0R
- ITEM A-2 SHEET AD1.0R DEMO – FLOOR PLAN:** (1) additional upper cabinet to be removed completely on north wall of open office area. See re-issued architectural sheet AD1.0R
- ITEM A-3 SHEET AD1.0R DEMO – FLOOR PLAN:** Add demo plan note #D15 for extend of LVT removal in existing breakroom. See re-issued architectural sheet AD1.0R
- ITEM A-4 SHEET A1.1R FIRST FLOOR PLAN:** Window legend references window type W1. Window tag has been added for reference. See re-issued architectural sheet A1.0R
- ITEM A-5 SHEET A1.1R FIRST FLOOR PLAN: Wall Legend:** Wall type MS has been updated to reference wall types MS3 & MS6. See re-issued architectural sheet A1.0R
- ITEM A-6 SHEET A1.1R FIRST FLOOR PLAN: Detail #5 clarification:** Delete reference detail to 1/S1 and replace with 2/S1. See re-issued architectural sheet A1.0R
- ITEM A-7 SHEET A1.1R FIRST FLOOR PLAN: Room Finish Schedule:** Office 105 & Office 106 will not receive new ceilings. See re-issued architectural sheet A1.0R
- ITEM A-8 SHEET A1.1R FIRST FLOOR PLAN: Room Finish Schedule:** Work Area/Storage 102 to receive new rubber base. See re-issued architectural sheet A1.0R
- ITEM A-9 SHEET A1.1R FIRST FLOOR PLAN: Room Finish Schedule:** Delete note at Entry 101 that references wall to receive level 1 texture on this side of wall. Replace with plan note #4. See re-issued architectural sheet A1.0R
- ITEM A-10 SHEET A2.1R RELECTED CEILING PLAN Detail #5 clarification:** Delete reference detail to 2/S1 and replace with 1/S1. See re-issued architectural sheet A2.1R
- ITEM A-11 SHEET A2.1R REFLECTED CEILING PLAN: Detail #3 clarification:** Per City review comment provide positive drainage around roof equipment. See re-issued architectural sheet A2.1R
- ITEM M-1 SHEET M-2 HVAC NEW WORK: Electrical Baseboard Heater:** Note 1 to read as follows: "Complete with integral thermostat, disconnect means, high limit protection, factory white finish. See attached mechanical addendum.

- ITEM E-1 SHEET E1.2R LIGHTING AND POWER\LOW VOLTAGE PLANS, AND SCHEDULES:** Occupancy sensors will be required in the following rooms: Entry 101, Open Office 103, Breakroom 104, Office 105. See re-issued electrical sheet E1.2R.
- ITEM E-2 SHEET E1.2R LIGHTING AND POWER\LOW VOLTAGE PLANS, AND SCHEDULES:** Add emergency lighting fixtures. See re-issued electrical sheet E1.2R.
- ITEM E-3 SHEET E1.2R LIGHTING AND POWER\LOW VOLTAGE PLANS, AND SCHEDULES:** Delete construction note #5 and replace with the follow: "Provide power feeds to office furniture through wall or ceiling as required. Verify requirements with supplier". See re-issued electrical sheet E1.2R.
- ITEM E-3 SHEET E1.2R LIGHTING AND POWER\LOW VOLTAGE PLANS, AND SCHEDULES:** Add general note #3: "Add general note as follows: All data cabling, jacks and final connections will be supplied and installed by the owner. See re-issued electrical sheet E1.2R.

**Prior Approvals:**

**LIGHT FIXTURE:**

The following light fixtures have been reviewed as equals, subject to final approval, to specified light fixtures:

Fixture "A (base)"	Litetronics
Fixture "A (alternate)"	Litetronics
Fixture "EX"	Mule Lighting

See attached Electrical addendum.

**ROOFTOP UNIT:**

McQuay, Carrier, Trane, and Johnson Controls are approved to bid the Rooftop Unit. It is the responsibility of the G.C. to coordinate any deviations from the plans with all other trades at no additional cost to the owner if a unit other than the one scheduled on the plans is used. See attached mechanical addendum.

**END OF ADDENDUM**

**Crossman-Whitney-Griffin, P.C.**



Matthew Avar, Project Manager

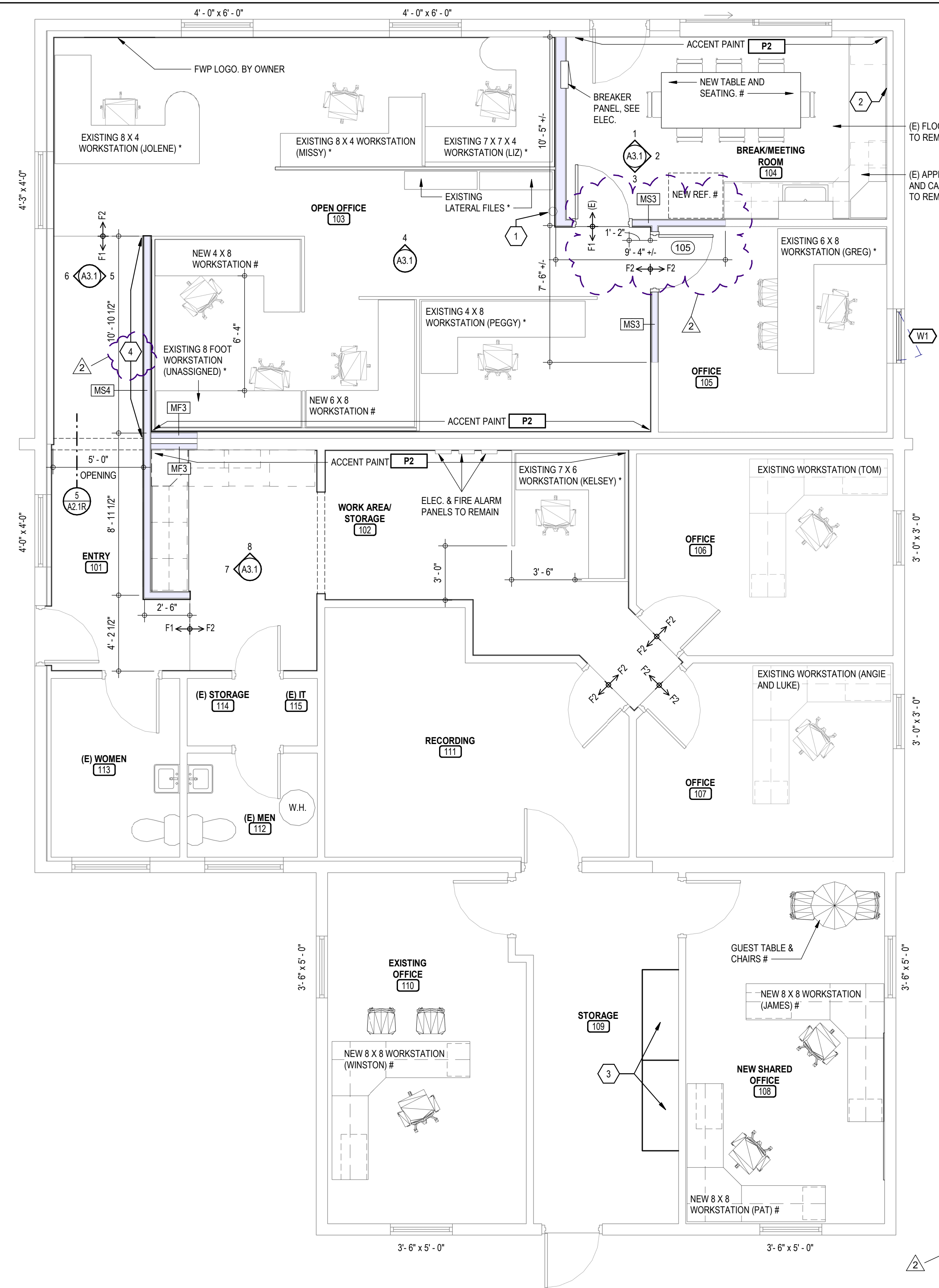
**Attachments:**

- Sheet AD1.0R Demo Plan
- Sheet A1.1R First Floor Plan - New
- Sheet A2.1R Reflected Ceiling plan
- Sheet E1.2R
- Mechanical Addendum
- Electrical Addendum

PLEASE ACKNOWLEDGE RECEIPT OF THIS ADDENDUM ON THE DESIGNATED PLACE IN THE PROPOSAL FORM **AND ON THE FACE OF THE ENVELOPE.**



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### 2018 IEBC - EXISTING BUILDING CODE

TYPE OF CONSTRUCTION V-B IBC, NON-SPRINKLED  
OCCUPANCY TYPE B (OFFICE)  
EXISTING MAIN FLOOR = 2905 SF  
**1146 SF MODIFIED OF MAIN FLOOR AREA OF 2905 SF = 40% OF THE EXISTING BUILDING. NO ADDITIONS.**  
EXISTING TYPE OF CONSTRUCTION V-B, NON-SPRINKLED

**CHAPTER 6 CLASSIFICATION OF WORK**  
**SECTION 603 ALTERATIONS - LEVEL 2**  
RECONFIGURATION OF SPACE, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE RECONFIGURATION OR EXTENSION OF ANY SYSTEM, OR THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT.

**SECTION 603.2 LEVEL 2 ALTERATIONS SHALL COMPLY WITH PROVISION OF CHAPTER 7 FOR LEVEL 1 ALTERATIONS AS WELL AS PROVISIONS OF CHAPTER 8.**

**CHAPTER 7 ALTERATIONS - LEVEL 1**  
**SECTION 702.1. INTERIOR FINISHES.** NEWLY INSTALLED INTERIOR WALL & CEILING FINISHES TO COMPLY WITH CHAPTER 8 OF THE 2018 IBC

CHAPTER 8 2018 IBC		
TABLE 803.13 INTERIOR WALL & CEILING CLASS FINISH PER OCCUPANCY GROUP / EXIT PASSAGEWAYS		
B	A	C
WORK AREAS	CORRIDORS	ROOMS

**SECTION 703 FIRE PROTECTION**  
ALTERATIONS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF FIRE PROTECTION PROVIDED.

**SECTION 704 MEANS OF EGRESS**  
ALTERATIONS SHALL BE DONE IN A MANNER THAT MAINTAINS THE LEVEL OF PROTECTION FOR THE MEANS OF EGRESS.

**SECTION 706 STRUCTURAL**  
WHERE ALTERATION WORK INCLUDES REPLACEMENT OF EQUIPMENT SUPPORTED BY THE BUILDING OR ROOFING, PROVISIONS 706.2 - 706.3 SHALL APPLY.

**SECTION 707 ENERGY CONSERVATION**  
LEVEL 1 ALTERATIONS TO EXISTING BUILDING OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING TO COMPLY WITH THE ENERGY CODE.

**CHAPTER 8 LEVEL 2**  
**SECTION 803 FIRE PROTECTION**  
THE REQUIREMENT SHALL BE LIMITED TO THE WORK AREA IN WHICH LEVEL 2 ALTERATIONS ARE BEING PERFORMED.

**SECTION 803.2.2 IN GROUPS (A,B,E,F-1,H,I,M,R-1,R-2,R-4,S-1,S-2)**  
WHERE OCCUPANTS WITHIN THE WORK AREA EXCEEDS 30, AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED WHERE ALL THE FOLLOWING OCCURS:  
1. THE WORK AREA IS REQUIRED TO BE PROVIDED WITH AN AUTOMATIC SPRINKLER PROTECTION PER 2018 IBC FOR NEW CONSTRUCTION AND  
2. THE WORK AREA EXCEEDS 50% OF THE FLOOR AREA.

**SECTION 805 MEANS OF EGRESS**  
THE REQUIREMENTS OF THIS SECTION SHALL BE LIMITED TO THE WORK AREA.

**SECTION 805.4.1.1 TWO EGRESS DOORWAYS** ARE REQUIRED IN ANY WORK AREA WHERE ALL THE ROOMS AND SPACES HAVING AN OCCUPANT LOAD GREATER THAN 50 OR IN WHICH THE TRAVEL DISTANCE TO THE EXIT EXCEEDS 75 FEET. THIS PROJECT (WORK AREA) WOULD REQUIRE TWO EXITS.

**SECTION 805.4.3 DOOR CLOSING.** IN ANY WORK AREA, ALL DOORS OPENING ONTO AN EXIT PASSAGEWAY AT GRADE SHALL BE SELF CLOSING.

**SECTION 805.6 DEAD END CORRIDORS** SHALL NOT EXCEED 35 FEET.

**SECTION 805.7 MEANS OF EGRESS LIGHTING.** ARTIFICIAL MEANS OF EGRESS LIGHTING SHALL BE INSTALLED PER 2018 IBC.

**SECTION 805.8 EXIT SIGNS** WITH THE WORK AREA SHALL COMPLY WITH 2018 IBC.

**SECTION 807 ELECTRICAL**  
ALL NEWLY INSTALLED ELECTRICAL EQUIPMENT AND WIRING TO THE WORK AREA SHALL COMPLY WITH NFPA 70.

**SECTION 808 MECHANICAL**  
ALL RECONFIGURED SPACES IN ANY WORK AREA TO BE PROVIDED WITH NATURAL OR MECHANICAL VENTILATION PER IMC. ANY ALTERED EXISTING SYSTEMS SHALL PROVIDE NOT LESS THAN 5 CFM OF OUTSIDE AIR PER PERSON OR 15 CFM OF VENTILATION AIR PER PERSON.

**SECTION 810 ENERGY CONSERVATION**  
LEVEL 2 ALTERATIONS TO EXISTING BUILDING OR STRUCTURES ARE PERMITTED WITHOUT REQUIRING THE ENTIRE BUILDING TO COMPLY WITH THE ENERGY CODE.

### FLOOR PLAN NOTES:

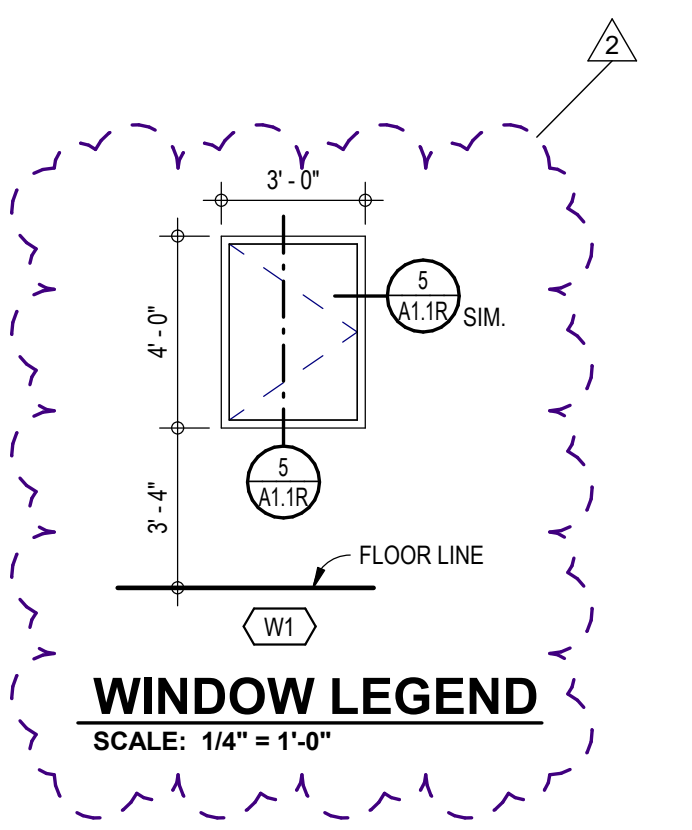
- SEE DRAWING A1.1 FOR DIMENSIONS
- BUILDING LINE IS THE EXTERIOR FACE OF FOUNDATION
- PATCH & REPAIR ALL EXISTING HOLES, MATCH SURROUND FINISHES & COLORS, UNLESS OTHERWISE NOTES IN ROOM SCHEDULE OR FINISH LEGEND

### DIMENSION NOTES:

- DIMENSION LINE IS EXTERIOR FACE OF FOUNDATION WALL OR COLUMN CENTERLINE UNLESS NOTED OTHERWISE
- DIMENSIONS ARE TO FACE OF STUDS OR COLUMN CENTERLINE UNLESS OTHERWISE NOTED

### FLOOR PLAN KEY NOTES:

- RELOCATED FIRE EXTINGUISHER
- PATCH AND REPAIR FURRING WALL AS REQ'D WERE ELECTRICAL BREAKER PANEL WAS REMOVED. MATCH ADJACENT FINISHES
- RELOCATED EXISTING CASEWORK, COORDINATE FIANL LOCATION THIS AREA W/ OWNER.
- THIS WALL SIDE ONLY TO RECEIVE LEVEL 5 FINISH FOR OWNER INSTALLED VINYL GRAPHICS



### DOOR SCHEDULE

NUM	WIDTH	HEIGHT	THK	HAND	TYPE	DOOR			FRAME				REMARKS		
						MAT	GLASS	RATING	FINISH	HDW	MAT	SIZE		FINISH	JAMB
105	3'-0"	7'-0"	1 3/4"	LH	A	WOOD	24"x36"	--	VARNISH	H1	METAL	5 3/4"	PAINT	2/A1.1	3/A1.1
F	3'-0"	7'-0"	4 3/4"	LH	A	WOOD	24"x36"	--	VARNISH	H2	METAL	5 3/4"	PAINT	2/A1.4	3/A1.1

### ROOM FINISH SCHEDULE

ROOM INFORMATION		WALL FINISHES				OTHER FINISHES			NOTES	
NUM	NAME	NORTH WALL	EAST WALL	SOUTH WALL	WEST WALL	BASE	FLOOR	TRIM		CEILING
FIRST FLOOR										
101	ENTRY	--	P1/WC1/WC3	P1	P1	B1	F2	P1	C1	SOFFIT TO BE P2
102	WORK AREA/ STORAGE	P2	P1	P1	P1	B1	F2	P1	C1	
103	OPEN OFFICE	P1/WC2	P1	P2	P1	B1	F2	P1	C1	
104	BREAK/MEETING ROOM	P2	P1	P1	P1	B1	(E)	P1	C1	
105	OFFICE	P1	P1	P1	P1	B1	F2	P1	C1	
106	OFFICE	P1	P1	P1	P1	B1	F2	P1	--	
107	OFFICE	P1	P1	P1	P1	B1	F2	P1	--	
108	NEW SHARED OFFICE	P1	P1	P1	P1	--	--	P1	--	
110	STORAGE	P1	P1	P1	P1	B1	--	P1	--	
110	EXISTING OFFICE	P1	P1	P1	P1	B1	--	P1	--	
111	RECORDING	--	--	--	--	B1	F2	P1	--	
112	(E) MEN	--	--	--	--	--	--	P1	--	
113	(E) WOMEN	--	--	--	--	--	--	P1	--	
114	(E) STORAGE	--	--	--	--	--	--	P1	--	
115	(E) IT	--	--	--	--	--	--	P1	--	

### ROOM FINISH LEGEND

- FINISHES MARKED WITH THE **P1** SYMBOL REFER TO THE FINISHES LISTED BELOW. SEE PLANS, ELEVATIONS, SECTIONS, AND DETAILS FOR SPECIFIC LOCATIONS OF FINISHES LISTED.
- SEE SPECIFICATIONS FOR FULL DESCRIPTION OF FINISHES AND APPLICATIONS.
- COLORS OR FINISHES NOT SPECIFIED TO BE SELECTED BY ARCHITECT OR OWNER'S REP FROM MANUFACTURER'S STANDARD COLORS.

**BASE (B):**

<b>B1</b>	TARKETT, RUBBER BASE. BASEWORKS THERMOSET RUBBER (TYPE TS) 4". COLOR: GATEWAY, TA4
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**CEILING (C):**

<b>C1</b>	TILE: ARMSTRONG, 2'x2', FINE FISSURED, SQUARE EDGE, COLOR: WHITE GRID: ARMSTRONG, PRELUDE XL HEAVY DUTY, COLOR: WHITE
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**CORNER GUARDS (CG):**

<b>CG1</b>	INPRO ARCHITECTURAL PRODUCTS. CORNER GUARDS. 130 HIGH IMPACT CORNER GUARD. COLOR: TAUPE #0113. INSTALL @ ALL OUTSIDE CORNERS IN ROOMS RECEIVING NEW FINISHES.
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**FLOORING (F):**

<b>F1</b>	PATCRAFT. WALK - OFF CARPET. ON THE RIGHT FOOT 10305. COLOR: STERLING 00500
<b>F2</b>	PATCRAFT. FIELD CARPET. STATES OF WATER. GLACIAL ICE 10577. COLOR: DEW 00350

**PAINT (P):**

<b>P1</b>	SHERWIN WILLIAMS. INTERIOR PAINT. FIELD PAINT. DOOR AND WINDOW TRIM. COLOR: ANEW GRAY #SW 7030.
<b>P2</b>	SHERWIN WILLIAMS. INTERIOR PAINT. ACCENT PAINT. COLOR MATCH TO BLUE LOGO. COORDINATION WITH OWNER AND REFER TO THE MONTANA FISH WILDLIFE AND PARK BRAND BOOK.

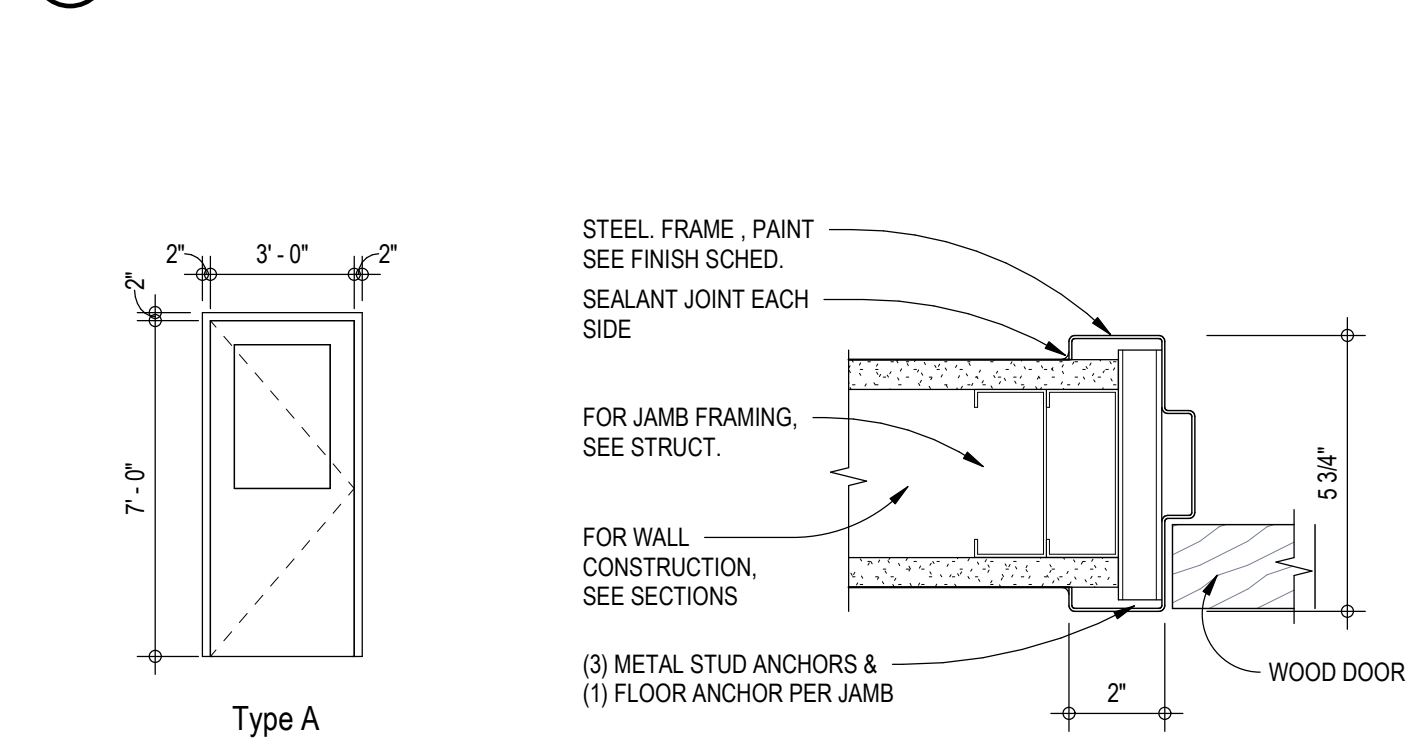
**PLASTIC LAMINATE (PL):**

<b>PL1</b>	WILSONART. STANDARD PLASTIC LAMINATE, CABINETS. COLOR: HARBOR HICKORY #Y0816, CASUAL RUSTIC FINISH. UPPER AND BASE CABINETS
<b>PL2</b>	WILSONART. STANDARD PLASTIC LAMINATE, CABINETS. COLOR: BASKET WEAVE 101 # 4965-38. FINE VELVET FINISH: COUNTERTOPS

**WINDOW COVERINGS (WV1):**

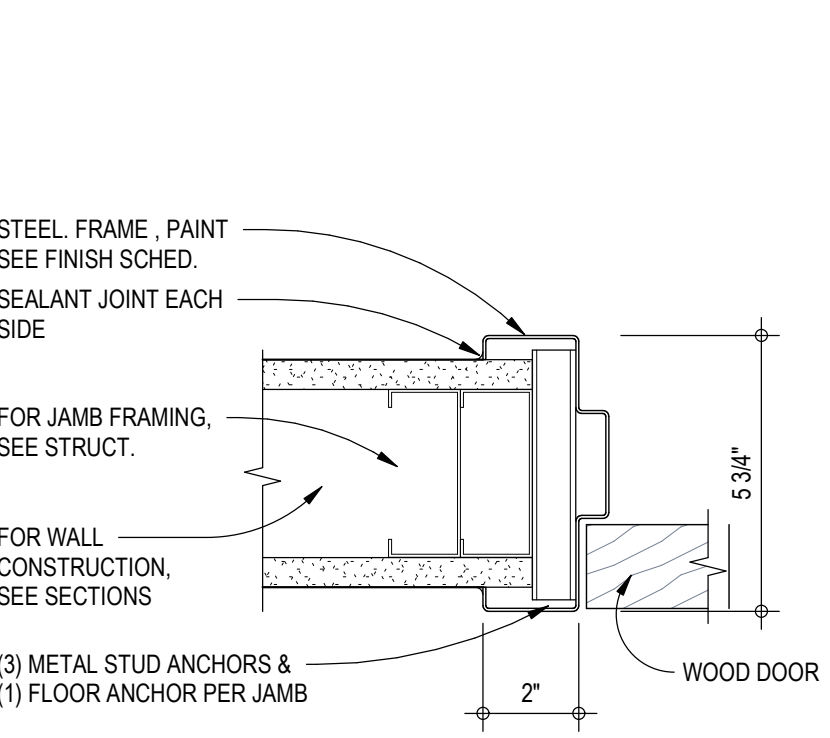
<b>WV1</b>	HUNTER DOUGLAS. APPLAUSE. LITERISE BOTTOM-UP. LEGENDS FABRIC. COLOR: PORCELAIN #401. ALL WINDOWS IN PROJECT, ROOMS: 101, 103, 105, 106, 107, 108, 110
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**1 NEW FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

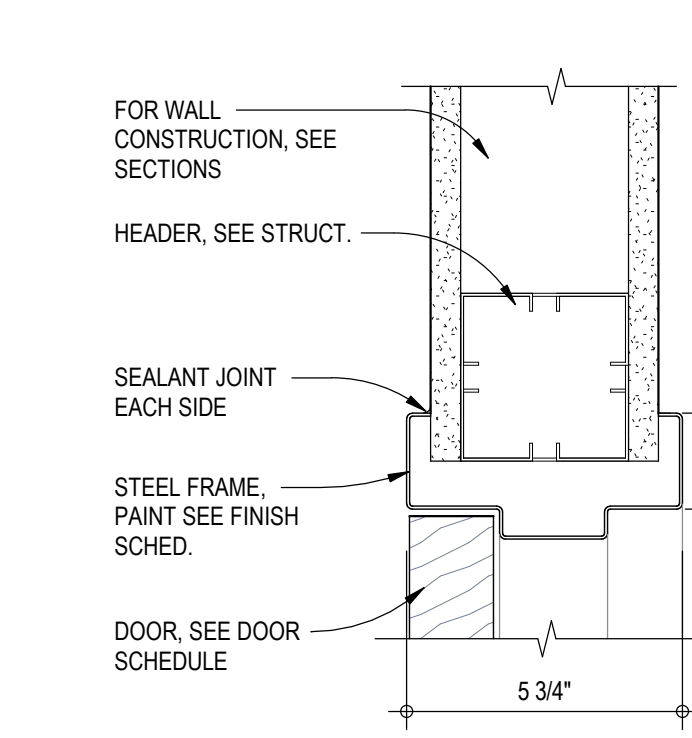


**DOOR LEGEND**  
SCALE: 1/4" = 1'-0"

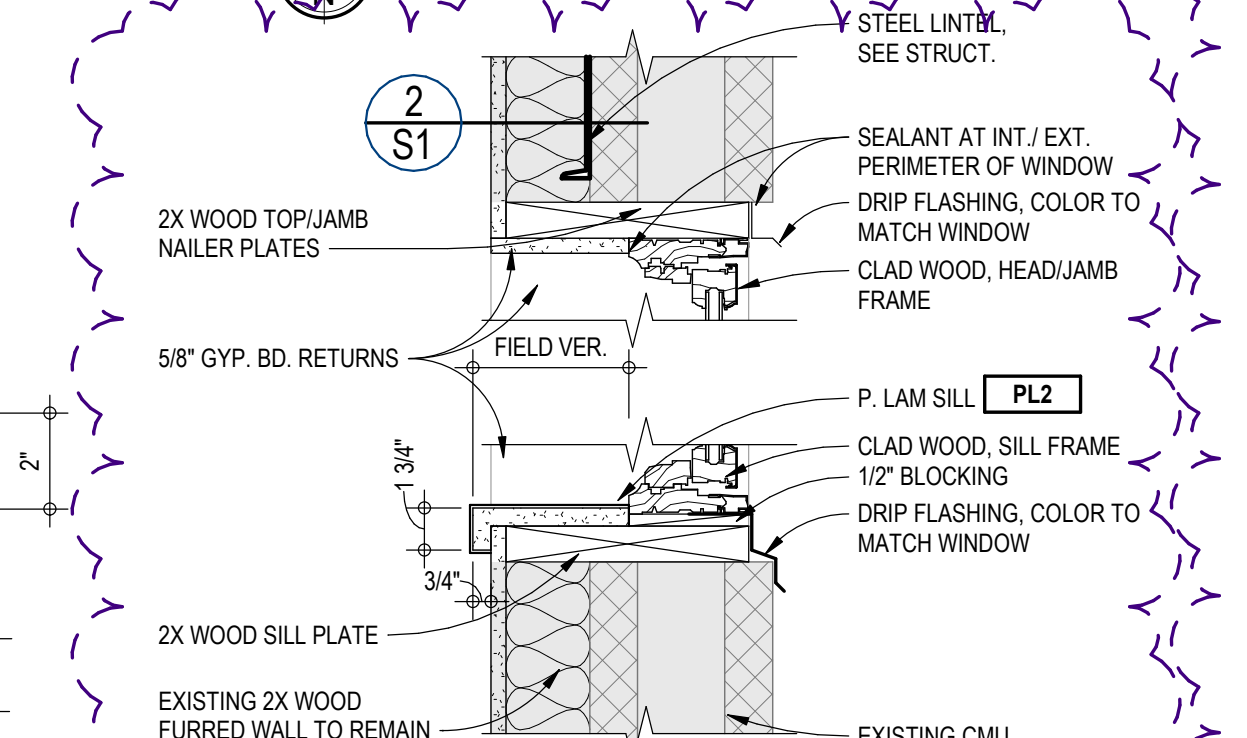
**2 INTERIOR HM JAMB TYP**  
SCALE: 3" = 1'-0"



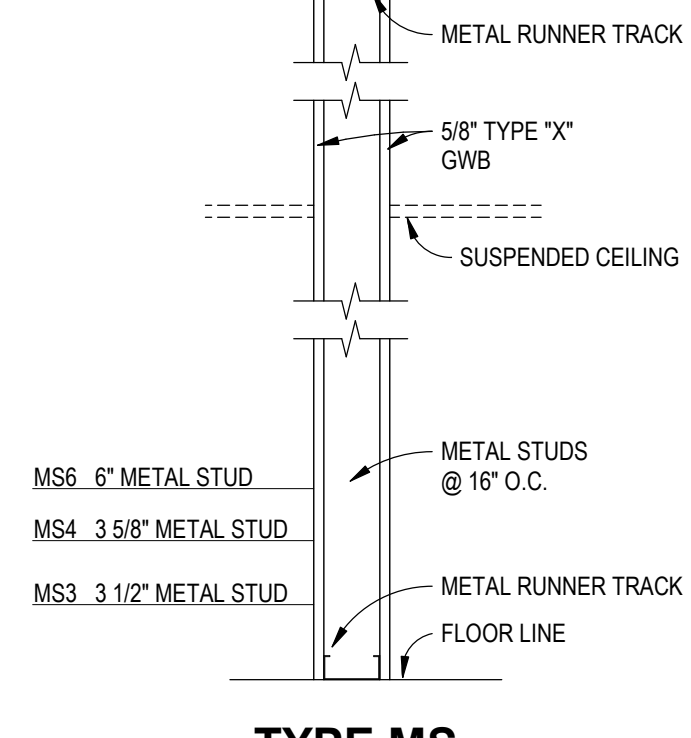
**3 INTERIOR HM HEAD TYP**  
SCALE: 3" = 1'-0"



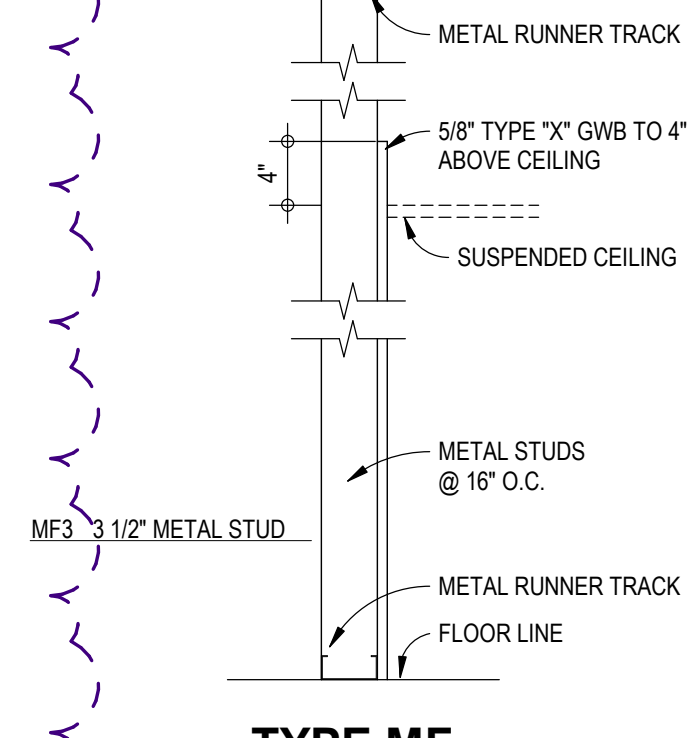
**5 WINDOW DETAIL**  
SCALE: 1 1/2" = 1'-0"



**TYPE MS WALL LEGEND**  
SCALE: 1" = 1'-0"



**TYPE MF**



**COGNIZANT NOTE:**  
THE CONTRACTOR SHALL BE COGNIZANT THAT THIS IS A REMODEL PROJECT AND AS SUCH, CERTAIN ITEMS CANNOT BE FULLY ILLUSTRATED NOR EXPLAINED WITHOUT FIELD OBSERVATION. THEREFORE BEFORE SUBMITTING A PROPOSAL, THE CONTRACTOR SHALL VISIT AND EXAMINE THE PROJECT IN EVERY DETAIL AS PERTAINS TO THIS PROJECT AND MAKE ALLOWANCES IN THEIR PROPOSAL FOR ALL CONDITIONS THAT WILL AFFECT THE WORK INDICATED IN THE PROJECT MANUAL AND CONTRACT DOCUMENTS.

**COORDINATION NOTE**  
IT IS ABSOLUTELY NECESSARY THAT ALL TRADES COORDINATE WITH EACH OTHER AND VERIFY THAT THERE ARE NO CONFLICTS IN LOCATION OF DUCTS, CONDUITS, SPRINKLER HEADS, DIFFUSERS, ELECTRICAL BOXES, EQUIPMENT, AND OTHER ITEMS THROUGHOUT THIS PROJECT BEFORE FINAL PLACEMENT OF MATERIALS.



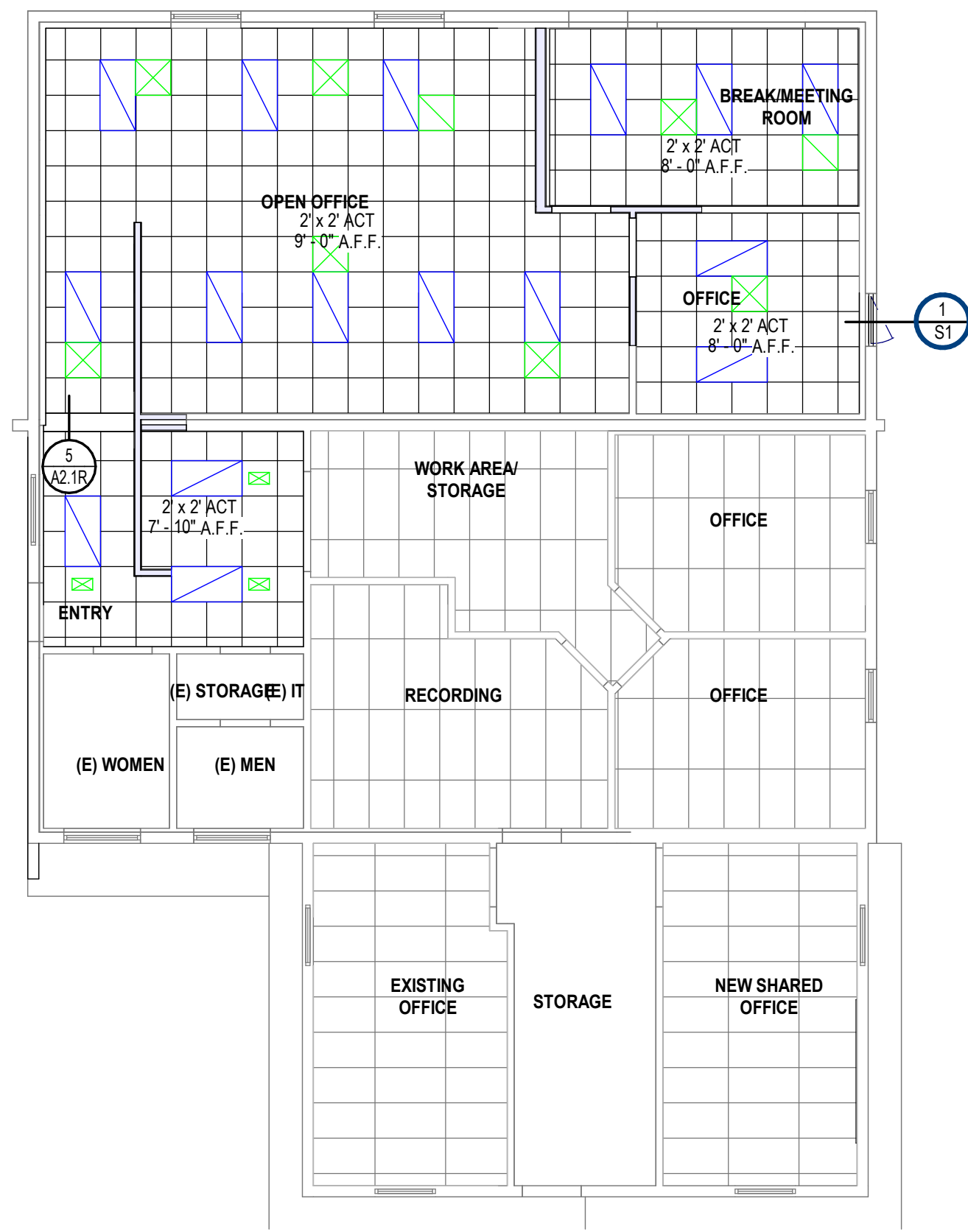
### REVISIONS

#	DATE
1	11/2/21
2	11/4/21

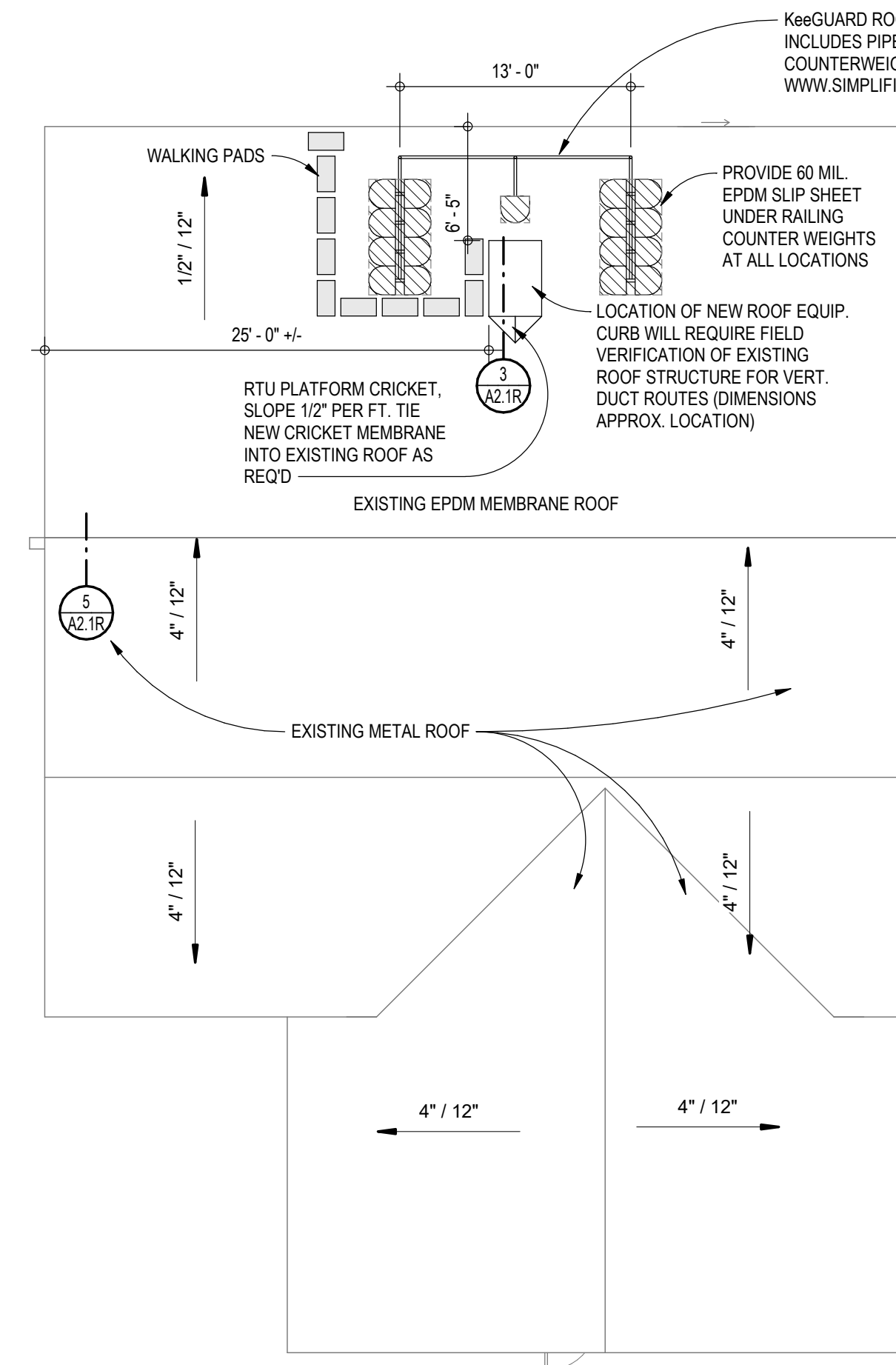
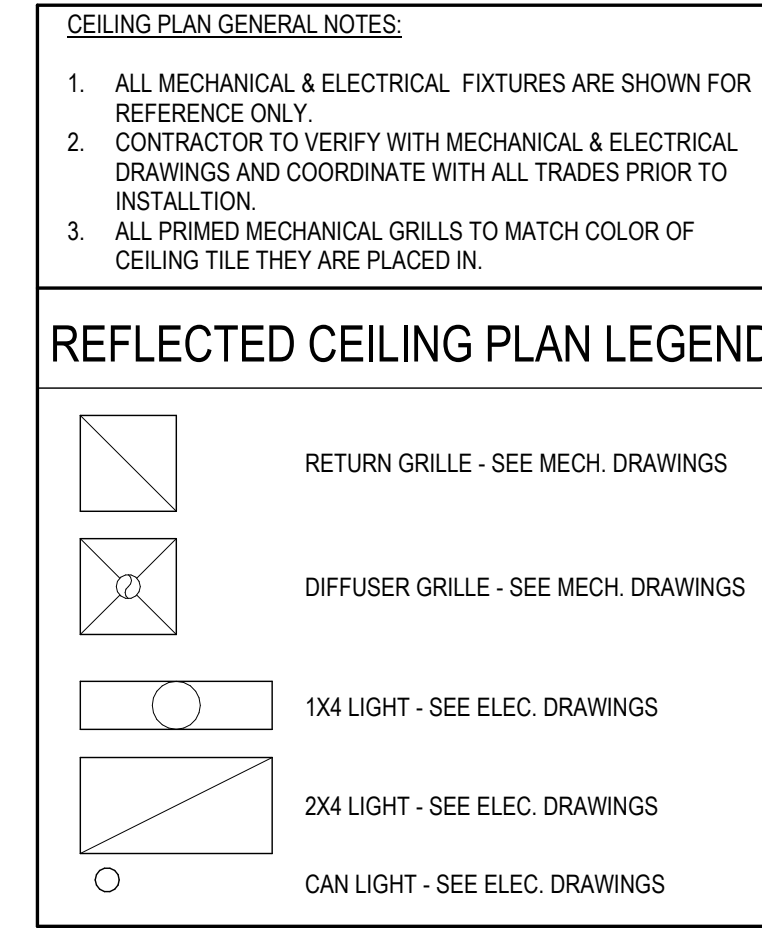
**MONTANA FISH, WILDLIFE, & PARKS**  
**MONTANA OUTDOORS OFFICE REMODEL**  
 930 CUSTER AVENUE, HELENA, MT 59602  
**FIRST FLOOR PLAN - NEW**

23-153-01  
 DRAWN BY MMA/MM  
 APPROVED CWG  
 DATE 11.04.21  
**A1.1R**

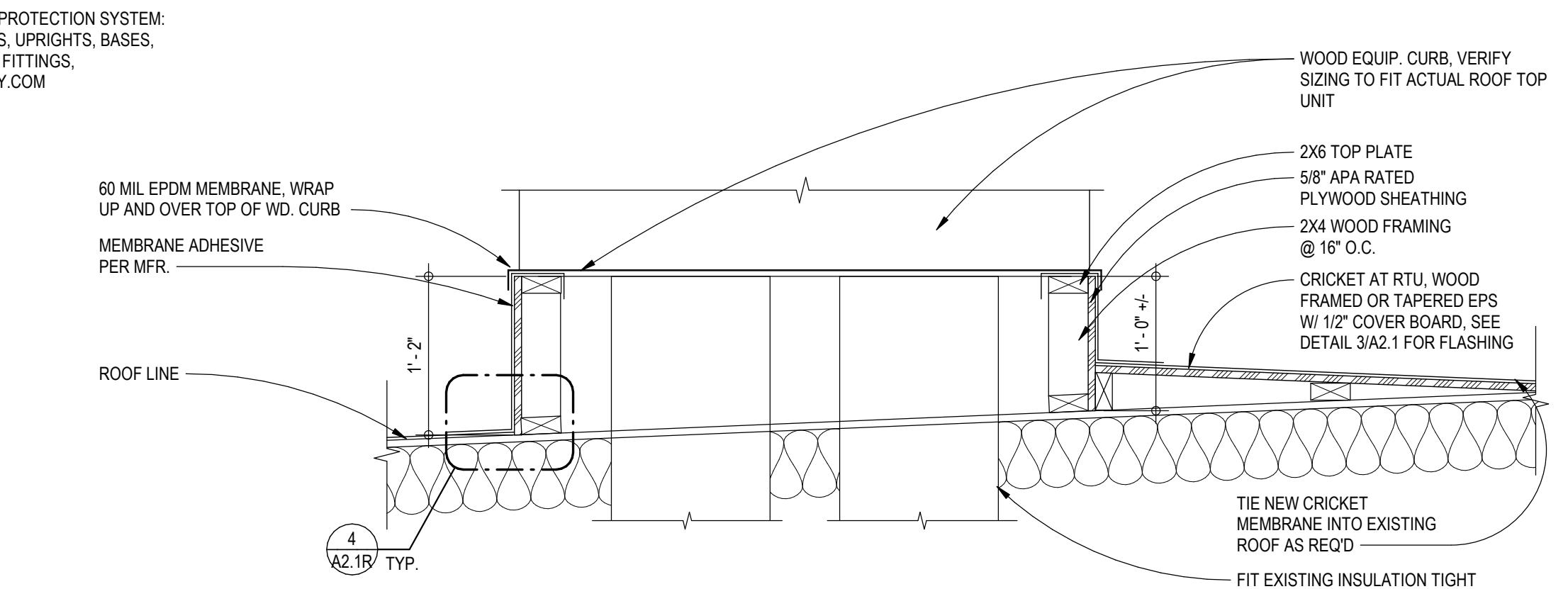




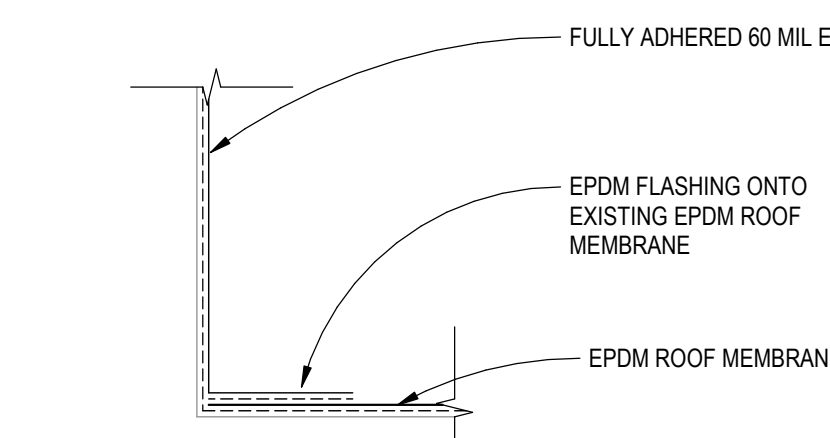
**1 FIRST FLOOR - RCP - NEW**  
SCALE: 1/8" = 1'-0"



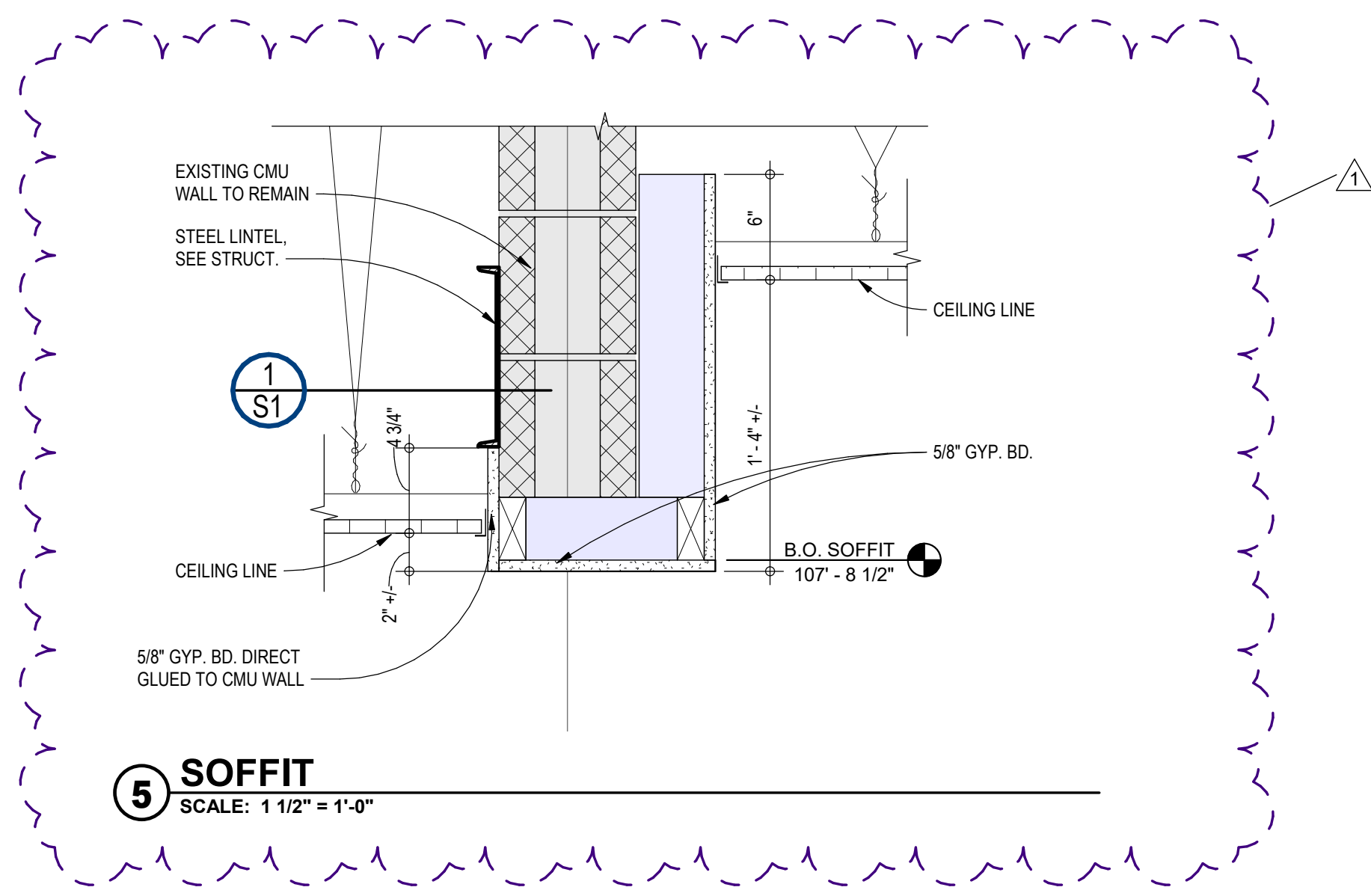
**2 ROOF PLAN**  
SCALE: 1/8" = 1'-0"



**3 EQUIP. CURB**  
SCALE: 1" = 1'-0"



**4 EPDM FLASHING**  
SCALE: 1 1/2" = 1'-0"



**5 SOFFIT**  
SCALE: 1 1/2" = 1'-0"

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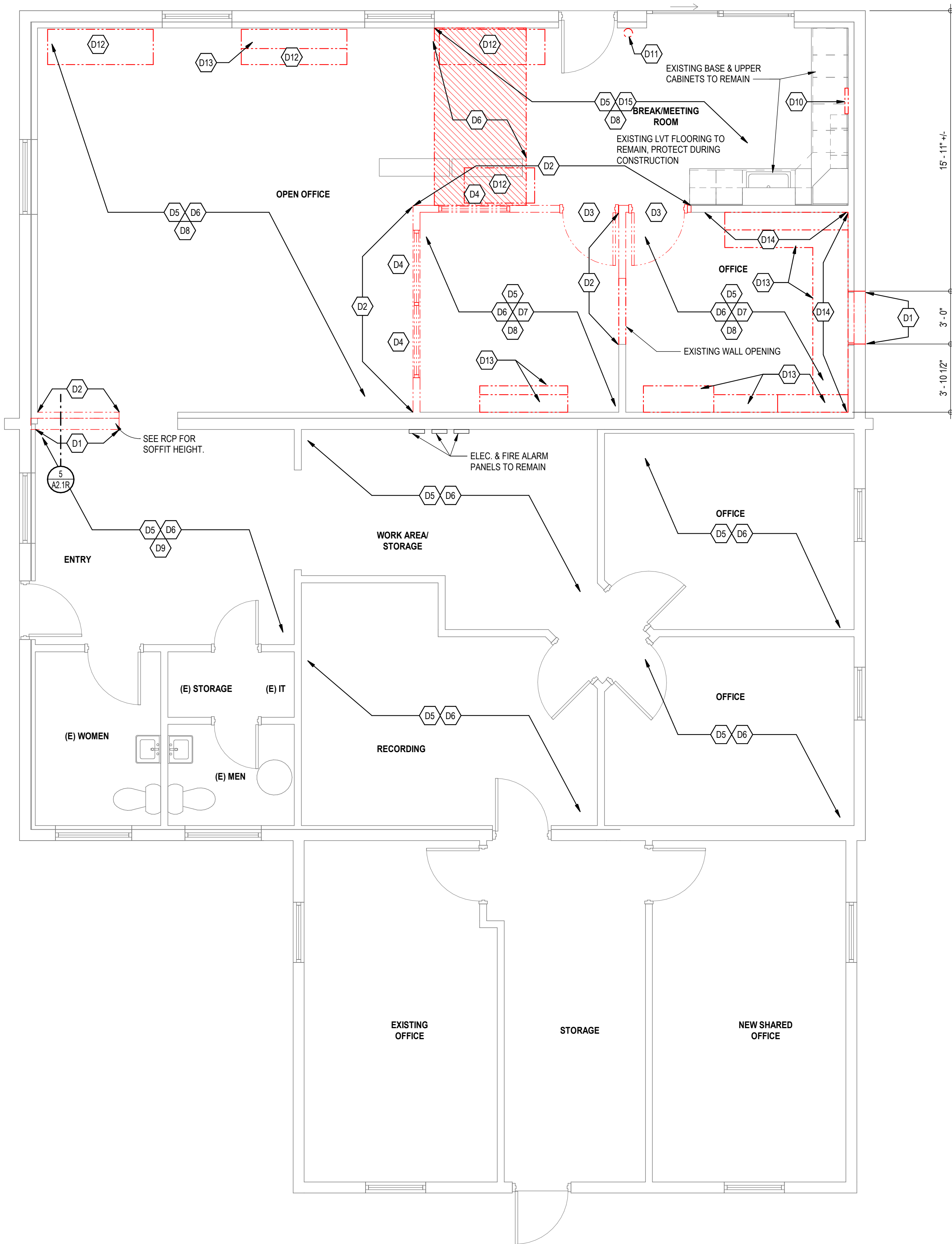
**CWG Architects**  
850 Park St  
P.O. Box 1198  
Helena, MT 59624  
cwg@cwg-architects.com  
(406)443-2340

REVISIONS	
#	DATE
1	11/2/21

**MONTANA FISH, WILDLIFE, & PARKS**  
**MONTANA OUTDOORS OFFICE REMODEL**  
930 CUSTER AVENUE, HELENA, MT 59602  
**REFLECTED CEILING PLAN**

23-153-01  
DRAWN BY MMA  
APPROVED CWG  
DATE 11.04.21

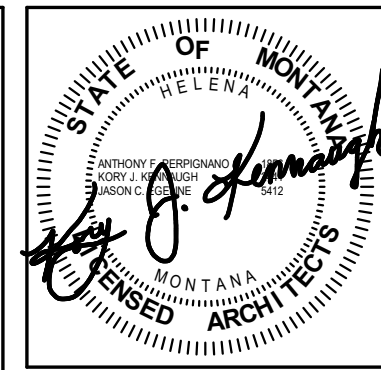
**A2.1R**



**1 FIRST FLOOR - DEMO**  
SCALE: 1/4" = 1'-0"



- GENERAL DEMO PLAN NOTES**
- COORDINATE ALL WORK IN (E) BUILDING WITH OWNER. PORTIONS OF THE BUILDING WILL REMAIN OCCUPIED DURING CONSTRUCTION. CONTRACTOR TO COORDINATE W/ OWNER FOR SEQUENCING OF DEMOLITION TO MINIMIZE IMPACT TO BUSINESS OPERATIONS.
  - CONTRACTOR TO COORDINATE WITH OWNER BEFORE START OF DEMO FOR OWNER TO REMOVE FURNITURE, EQUIPMENT AND OWNER SALVAGED ITEMS.
  - SEE MECHANICAL, ELECTRICAL DRAWINGS FOR ADDITIONAL DEMO NOTES.
  - PROTECT EXISTING CONSTRUCTION TO REMAIN. REPAIR ANY DAMAGE TO MATCH EXISTING ADJACENT CONSTRUCTION OR REPLACE ITEMS AS REQUIRED.
  - CONTRACTOR TO FIELD VERIFY EXISTING CONDITIONS PRIOR TO BEGINNING DEMOLITION. NOTIFY ARCHITECT/OWNER OF ANY ITEMS THAT WOULD INTERFERE WITH PROCEEDING WITH DEMOLITION AS INDICATED OR DEVIATES FROM ASSUMED CONDITIONS.
  - CONTRACTOR TO COMPLY WITH ALL EPA, FEDERAL, STATE AND LOCAL REGULATIONS FOR DISPOSAL OF CONSTRUCTION MATERIALS. REMOVAL AND DISPOSAL OF ALL DEMOLISHED ITEMS WITHIN THE LIMIT OF WORK AREA UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO PROVIDE ALL TEMPORARY PARTITIONS AND OTHER SYSTEMS TO CONTROL THE SPREAD OF CONSTRUCTION DEBRIS & DUST. CONTRACTOR TO PROVIDE ALL TEMPORARY SHORING AND BRACING. SEE STRUCT.
  - PATCH AND REPAIR ANY FINISHES TO MATCH ADJACENT FINISHES.
- DEMO KEY NOTES:**
- (D1) SAWCUT EXTERIOR/INTERIOR CMU BLOCK WALL FOR NEW OPENING, SEE WINDOW & DOOR LEGEND
  - (D2) REMOVE EXISTING INTERIOR FRAMED WALL COMPLETELY
  - (D3) REMOVE EXISTING EXTERIOR/INTERIOR DOOR/ DOOR FRAME & DOOR HARDWARE COMPLETELY
  - (D4) REMOVE EXISTING INTERIOR WINDOW COMPLETELY
  - (D5) REMOVE EXISTING RUBBER BASE COMPLETELY. PREP WALL SURFACE FOR NEW RUBBER BASE
  - (D6) REMOVE EXISTING BROADLOOM CARPET OR LVT FLOORING COMPLETELY. PREP FLOOR SURFACE FOR NEW FLOOR FINISHES
  - (D7) REMOVE EXISTING WALL CASEWORK AND SELVING COMPLETELY. PATCH AND REPAIR WALL FOR NEW FINISHES
  - (D8) REMOVE EXISTING CEILING TILES & GRID COMPLETELY
  - (D9) REMOVE EXISTING 12" X 12" FULLY ADHERED CEILING SYSTEM AND FRAMING SYSTEM COMPLETELY. PREP FOR NEW LAY-IN CEILING SYSTEM
  - (D10) REMOVE EXISTING ELECTRICAL BREAKER PANEL. SEE ELEC.
  - (D11) REMOVE & RELOCATE EXISTING FIRE EXTINGUISHER
  - (D12) REMOVE & RELOCATE EXISTING BASE CABINETS W/ COUNTERTOPS
  - (D13) REMOVE EXISTING BASE & UPPER CASEWORK AND/OR WALL SHELVING COMPLETELY
  - (D14) REMOVE EXISTING GYP. BD. TO 5'-0" A.F.F.
  - (D15) SELECTIVE REMOVAL OF EXISTING LVT FLOORING OUTSIDE OF BREAKROOM 104. SEE NEW FLOOR PLAN ON A1.1 FOR EXTENT OF LVT TO REMAIN. PROTECT LVT FLOORING DURING CONSTRUCTION.



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REVISIONS	
#	DATE

**MONTANA FISH, WILDLIFE, & PARKS**  
**MONTANA OUTDOORS OFFICE REMODEL**  
930 CUSTER AVENUE, HELENA, MT 59602  
**DEMO PLAN**

**COGNIZANT NOTE:**  
THE CONTRACTOR SHALL BE COGNIZANT THAT THIS IS A REMODEL PROJECT AND AS SUCH, CERTAIN ITEMS CANNOT BE FULLY ILLUSTRATED NOR EXPLAINED WITHOUT FIELD OBSERVATION. THEREFORE BEFORE SUBMITTING A PROPOSAL, THE CONTRACTOR SHALL VISIT AND EXAMINE THE PROJECT IN EVERY DETAIL AS PERTAINS TO THIS PROJECT AND MAKE ALLOWANCES IN THEIR PROPOSAL FOR ALL CONDITIONS THAT WILL AFFECT THE WORK INDICATED IN THE PROJECT MANUAL AND CONTRACT DOCUMENTS.

**COORDINATION NOTE**  
IT IS ABSOLUTELY NECESSARY THAT ALL TRADES COORDINATE WITH EACH OTHER AND VERIFY THAT THERE ARE NO CONFLICTS IN LOCATION OF DUCTS, CONDUITS, SPRINKLER HEADS, DIFFUSERS, ELECTRICAL BOXES, EQUIPMENT, AND OTHER ITEMS THROUGHOUT THIS PROJECT BEFORE FINAL PLACEMENT OF MATERIALS.

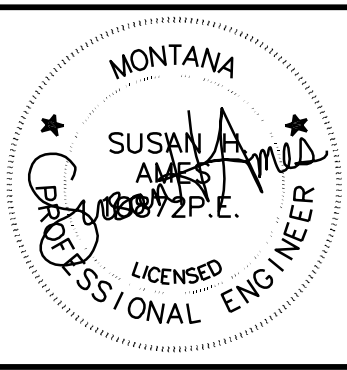
23-153-01  
DRAWN BY MMA  
APPROVED CWG

DATE 11.04.21

**AD1.0R**

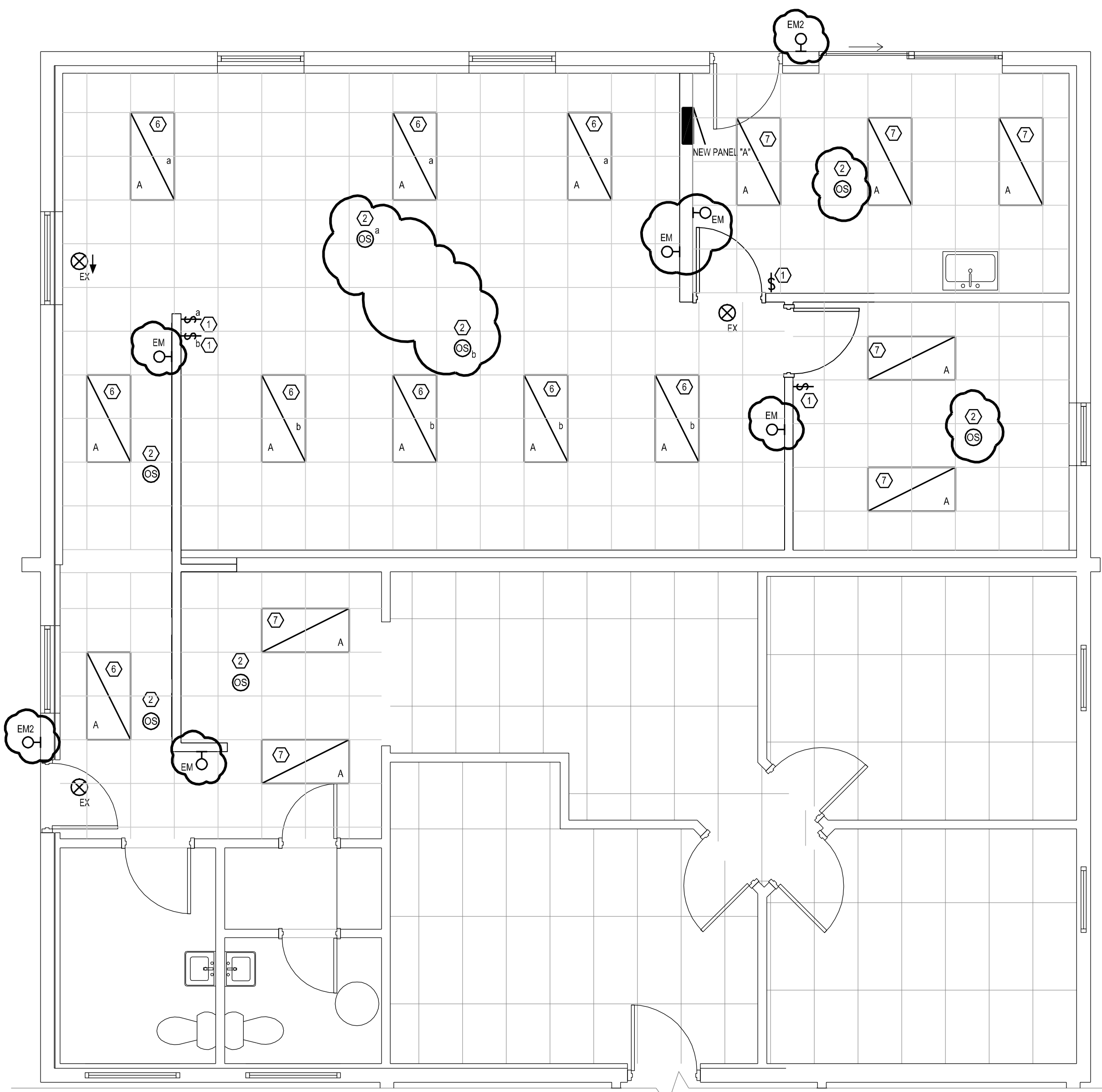


**COORDINATION NOTE**  
 IT IS ABSOLUTELY NECESSARY THAT ALL TRADES COORDINATE WITH EACH OTHER AND VERIFY THAT THERE ARE NO CONFLICTS IN LOCATION OF DUCTS, CONDUITS, SPRINKLER HEADS, DIFFUSERS, ELECTRICAL BOXES, EQUIPMENT, AND OTHER ITEMS THROUGHOUT THIS PROJECT BEFORE FINAL PLACEMENT OF MATERIALS.



**AMES ENGINEERING, LLC**  
 ELECTRICAL DESIGN & CONSULTING  
 815 JACOB STREET, HELENA, MT 59602  
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REVISIONS	
#	DATE

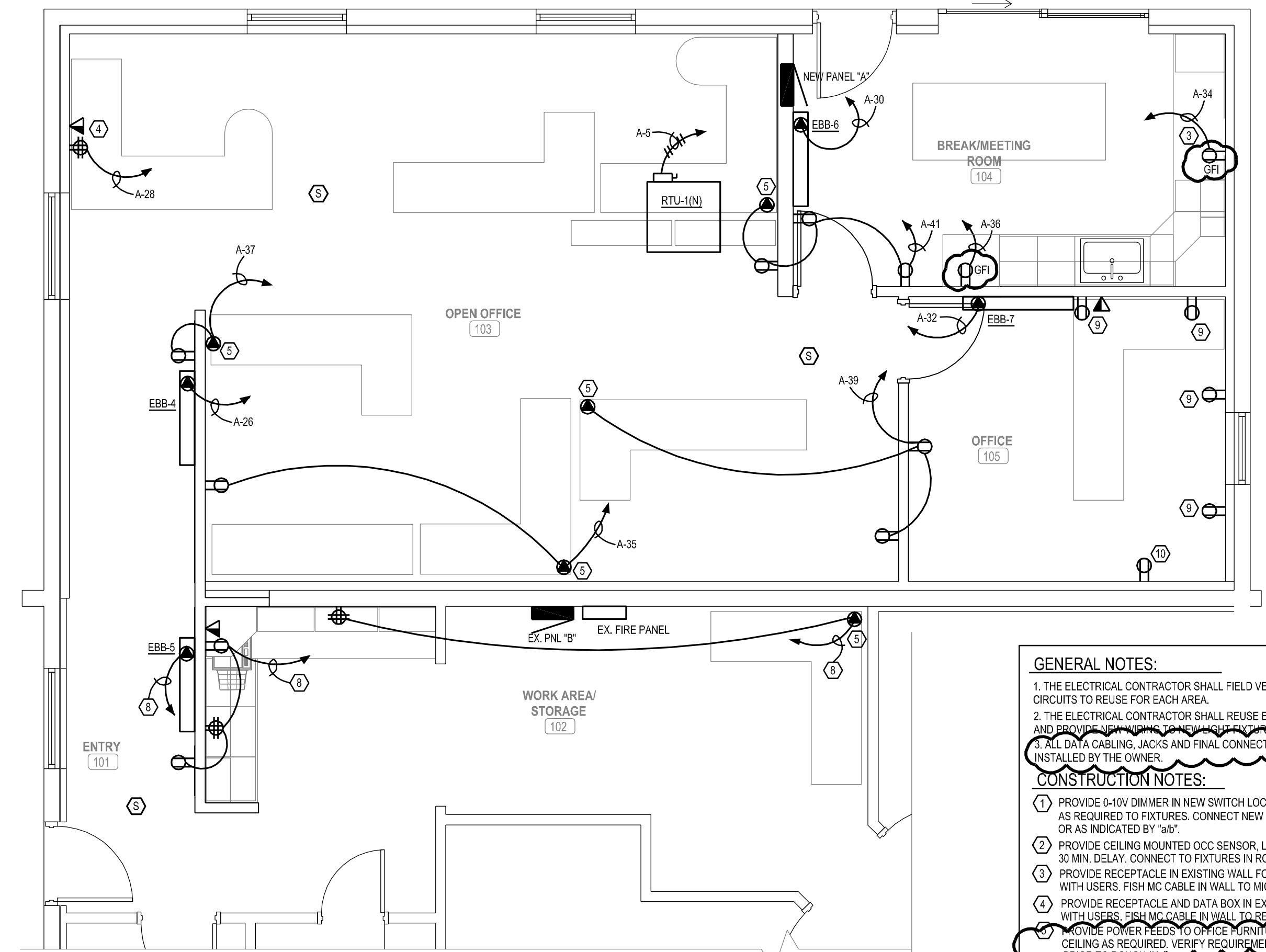


**1 NEW LIGHTING PLAN**  
 1/4"=1'-0"

LTR.	SYMBOL	DESCRIPTION	MANUFACTURER	CATALOG NO.	LOCATION	MOUNTING	LAMPS		NOTES
							NO.	WATTAGE	
A	⊠	2X4' RECESSED VOLUMETRIC RETROFIT KIT LED DIMMABLE LAMPING	ELKO	VOL24R-PS34-840-JD DIMMABLE	CEILING	RECESSED	1	34W LED	120V
A ALT #1	⊠	2X4' RECESSED FLAT PANEL LED DIMMABLE LAMPING	LITHONIA	CPANL-2X4-40LM-40K DIMMABLE	CEILING	RECESSED	1	32W LED	120V
EX	⊗	SINGLE-FACE RED LED BRUSHED ALUM. FINISHED EXIT NICKEL CAD. BATTERY	LITHONIA	LOC-1R-120-ELN	CLG.	SURFACE	-	RED LED'S	120V
EM	⊕	THERMOPLASTIC EMERGENCY LIGHT W/ LEAD CALCIUM BATTERY, 2 HEADS	LITHONIA	ELM	WALL	SURFACE 7' AFF	2	5.4W H.I.T.	120V
EM2	⊕	STAND ALONE EXTERIOR EMERGENCY FIXTURE 2-8W LED	LITHONIA	AFN-B-EXT	WALL	SURFACE 7' AFF	2	12W LED	120V

NOTES:  
 1. CONNECT EMERGENCY AND EXIT FIXTURES TO NEAREST UNSWITCHED 120V. CIRCUIT.  
 BASE BID: PROVIDE RETROFIT KIT IN NINE EXISTING 2X4 TROFFERS. FIELD VERIFY KITS WILL FIT INTO EXISTING FIXTURES PRIOR TO ORDERING.  
 ALTERNATE #1: PROVIDE NEW FIXTURES TO REPLACE NINE EXISTING LIGHTS.

**2 NEW POWER/LOW VOLTAGE PLAN**  
 1/4"=1'-0"



**GENERAL NOTES:**  
 1. THE ELECTRICAL CONTRACTOR SHALL FIELD VERIFY EXISTING LIGHTING CIRCUITS TO REUSE FOR EACH AREA.  
 2. THE ELECTRICAL CONTRACTOR SHALL REUSE EXISTING LIGHTING CIRCUITS AND PROVIDE NEW WIRING ONLY WHERE NECESSARY.  
 3. ALL DATA CABLING, JACKS AND FINAL CONNECTIONS WILL BE SUPPLIED AND INSTALLED BY THE OWNER.  
**CONSTRUCTION NOTES:**  
 1. PROVIDE 0-10V DIMMER IN NEW SWITCH LOCATION. PROVIDE NEW WIRING AS REQUIRED TO FIXTURES. CONNECT NEW SWITCHES TO FIXTURES IN ROOM OR AS INDICATED BY "AS".  
 2. PROVIDE CEILING MOUNTED OCC SENSOR, LUTRON OR EQUAL, WITH 30 MIN. DELAY. CONNECT TO FIXTURES IN ROOM AS INDICATED/REQUIRED.  
 3. PROVIDE RECEPTACLE IN EXISTING WALL FOR MICROWAVE. VERIFY HEIGHT WITH USERS. FISH MC CABLE IN WALL TO MICROWAVE HEIGHT, +07' AFF.  
 4. PROVIDE RECEPTACLE AND DATA BOX IN EXISTING WALL. VERIFY HEIGHT WITH USERS. FISH MC CABLE IN WALL TO RECEPTACLE HEIGHT.  
 5. PROVIDE POWER FEEDS TO OFFICE FURNITURE THROUGH WALL OR CEILING AS REQUIRED. VERIFY REQUIREMENTS WITH SUPPLIER.  
 6. EXISTING FIXTURE TO BE RETROFIT OR REPLACED AND RELOCATED, PER LIGHT FIXTURE SCHEDULE AND BASE BID/ALTERNATE #1 NOTES.  
 7. NEW FIXTURE IN NEW CEILING. CONNECT TO CIRCUIT PREVIOUSLY SERVING LIGHTING IN THIS AREA.  
 8. EXTEND 3/4" IN 1/2" CONDUIT TO NEW 20A/1P BREAKER IN EX. PANEL B. PANEL B IS AN EXISTING GENERAL ELECTRIC A-TYPE PANEL.  
 9. RELOCATE EXISTING RECEPTACLE TO 18" AFF. EXTEND WIRING TO NEW LOCATION AS REQUIRED.  
 10. PROVIDE DUPLEX RECEPTACLE FACEPLATE AND CONNECT AS REQUIRED.

PANEL	A	AMPS	200A	BUS	200A	MOUNT	FLUSH	EXTEND FEEDERS TO
LOC.	ROOM 104	L-L V	240	NEUT	200A	FEED	TOP	NEW PANEL LOCATION
MFGR.	GE	L-N V	120	M.C.B.	NO	WIDTH	20"	FROM EXISTING LOADS
TYPE	A	PHASE	1	TYPE		DEPTH	5 3/4"	
AIC	10K	WIRES	3	M.L.O.	YES	NEMA	1	

REMARKS : BOLT-ON BREAKERS ONLY, HACR BREAKERS WHERE REQUIRED BY HVAC UNIT MANUFACTURER  
 \*ALL CIRCUIT BREAKERS SHALL BE RATED 10,000 AIC AND LISTED FOR SERIES COMBINATION WITH THE CURRENT LIMITING MAIN FUSES OR CIRCUIT BREAKERS.

CKT NO.	BREAKER	AMP/POLE	T	WIRE #2	LOAD DESCRIPTION	USE				LOAD (VA)				BREAKER	CKT NO.				
						REC	LTS	HTR	MTR	MISC	L1	L2	REC			LTS	HTR	MTR	MISC
1	100	2		#2	EX PANEL B					6000									
3										500									
5	30	2		#10	RTU-1(N)					1800									
7										500									
9	20	1		#12	EXISTING LOAD					500									
11	20	1		#12	EXISTING LOAD					500									
13	20	1		#12	EXISTING LOAD					500									
15	20	1		#12	EXISTING LOAD					500									
17	20	1		#12	EXISTING LOAD					500									
19	20	1		#12	EXISTING LOAD					500									
21	20	1		#12	EXISTING LOAD					500									
23	20	1		#12	EXISTING LOAD					500									
25	20	1		#12	EXISTING LOAD					1000									
27	20	1		#12	EXISTING LOAD					500									
29	20	1		#12	EXISTING LOAD					1000									
31	20	1		#12	EXISTING LOAD					750									
33	20	1		#12	EXISTING LOAD					500									
35	20	1		#12	RECEPTACLES					1000									
37	20	1		#12	RECEPTACLES					1000									
39	20	1		#12	RECEPTACLES					1000									
41	20	1		#12	RECEPTACLES					1000									
										19050									
										18800									

TOTAL CONNECTED LOAD		CONNECTED LOAD		DIV.		DEMAND	
37850	VA	REC 1ST 10KVA	7.0 KVA	100%	7.0 KVA	REC REMAINING	0.0 KVA
		LIGHTING	11.4 KVA	50%	0.0 KVA	MOTORS	0.0 KVA
		MISCELLANEOUS	18.5 KVA	125%	14.2 KVA	TOTAL DEMAND LOAD	39.7 KVA
				100%	18.5 KVA	DEMAND AMPS	165.4 AMPS

**MOTOR SCHEDULE**  
 \*VERIFY EXACT LOCATIONS OF ALL EQUIPMENT PRIOR TO ROUGH-IN

UNIT	MANUFACTURER			STARTER			O.L.	DEVICES		AUXILIARY CONTROL	NOTES
	HP	PH	VOLTS	MFR	CATALOG NO.	SIZE		POLES	HTRS		
EBB-4,5,7	1kW	1	120		N/A						1
EBB-6	750W	1	120		N/A						1
RTU-1(N)	18.8 MCA	1	240		N/A						1 2

1. SEE TEMPERATURE CONTROL SPECIFICATIONS IN MECHANICAL SPECS FOR SEQUENCE OF OPERATION, INTERLOCKS, AND SPECIAL CONTROLS REQUIRED. ALSO FOR DEFINITION OF WHICH CONTRACTOR PROVIDES WHAT.  
 2. PROVIDE NEMA 3R, 30A/2P FUSED DISCONNECT SWITCH ADJACENT TO UNIT. PROVIDE FUSES PER MANUFACTURER'S RECOMMENDATIONS. ALL WORK RELATED TO THE REPLACEMENT OF THE RTU SHALL BE PART OF ALTERNATE #2.

MONTANA FWP - CWG PROJECT #23-153-01 FWP PROJECT #7199172  
 MONTANA OUTDOORS OFFICE REMODEL  
 930 CUSTER AVENUE, HELENA, MT 59602  
 LIGHTING AND POWER/LOW VOLTAGE PLANS, AND SCHEDULES

23-153-01  
 DRAWN BY: SHA  
 APPROVED: SHA  
 DATE: 11.04.2021  
**E1.2R**

**Mechanica Addenda Items for MT Outdoors**

**Addendum #1**

**11/04/2021**

Clarification:

- 1) On the Electric Baseboard Schedule note #1 is to read "Complete with integral thermostat, disconnect means, high limit protection, factory white finish."
- 2) MECHANICAL SPECIFICATION NOTE: All work shall be in strict compliance with all applicable codes & standards, including but not limited to, 2018 IMC, 2018 UPC, 2018 IBC, 2018 IFGC & 2018 IECC. Contractor shall be responsible for obtaining permits, plan reviews, and all required inspections by the code authorities having jurisdiction.
- 3) Testing and balancing of all ducts and grills modified/replaced in this project is required. Testing and balancing is to be done by a NEBB certified balancing agency.
- 4) ROOFTOP UNIT: McQuay, Carrier, Trane, and Johnson Controls are approved to bid the Rooftop Unit. It is the responsibility of the G.C. to coordinate any deviations from the plans with all other trades at no additional cost to the owner if a unit other than the one scheduled on the plans is used.

Attachments: None

End of Mechanical Addendum #1



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Phone/Fax: (406) 458-0494 e-mail:susanhames@mt.net*

**ELECTRICAL ADDENDUM ITEMS**

**PROJECT: FWP MT Outdoors Office Remodel, Helena, MT**

**DATE: October 28, 2021**

**Light Fixture – Prior Approvals:**

The following light fixtures have been reviewed as equals, subject to final approval, to specified light fixtures:

Fixture "A (base)"	Litetronics
Fixture "A (alternate)"	Litetronics
Fixture "EX"	Mule Lighting

End of Electrical Addendum