

MONTANA FISH, WILDLIFE & PARKS

Bannack State Park

Historic Structure Re-Roofing

Issued for Bid

June 7, 2022

Bannack, MT

Project #7216302

GENERAL PROJECT NOTES

1. BANNACK STATE PARK IS A NATIONAL HISTORIC LANDMARK HISTORIC DISTRICT. THE GENERAL CONTRACTOR SHALL FOLLOW THE SECRETARY OF THE INTERIOR'S STANDARDS FOR PRESERVATION FOR ALL WORK PERFORMED ON THE BUILDINGS INCLUDED IN THIS PROJECT.
2. "OWNER" = MONTANA FISH WILDLIFE AND PARKS (MFWP).
3. "BSP" = BANNACK STATE PARK STAFF.
4. THE GENERAL CONTRACTOR SHALL COORDINATE ALL WORK ON SITE WITH MONTANA FISH WILDLIFE & PARK'S PARK MANAGER.
5. THE GENERAL CONTRACTOR SHALL PROTECT ALL SURFACES TO REMAIN.
6. ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, INCLUDING BUT NOT LIMITED TO, THE 2018 INTERNATIONAL EXISTING BUILDING CODE - CHAPTER 12 FOR HISTORIC BUILDINGS. 1202.2 REPLACEMENT OF ROOFING MATERIALS USING ORIGINAL MATERIALS IS PERMITTED. THE EXISTING CONDITION OF SKIP SHEATHING AND LACK OF ROOFING FELT IS PERMITTED.
7. DO NOT SCALE THE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD. CONTACT THE ARCHITECT FOR FURTHER CLARIFICATION.
8. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES IN THE DRAWINGS AND/OR SPECIFICATIONS.
9. ALL WORK SHOWN ON THESE DRAWINGS IS NEW UNLESS OTHERWISE INDICATED.
10. ALL EXISTING MATERIALS ARE INDICATED AS EXISTING. WHERE NOT IDENTIFIED AS EXISTING, MATERIALS SHALL BE NEWLY PROVIDED BY THE CONTRACTOR.
11. PROVIDE = FURNISH AND INSTALL.
12. THIS PROJECT IS BEING BID WITH A BASE BID AND TWO ALTERNATE BIDS AS FOLLOWS:
 - A. BASE BID: RE-ROOFING A1-1 MANAGER'S HOUSE AND OFFICE
 - B. ALTERNATE NO. 1: RE-ROOFING B16-2 FIRE HOUSE
 - C. ALTERNATE NO. 2: RE-ROOFING B10 GIBSON HOUSE



1 LOCATION MAP
Not to Scale


2 VICINITY MAP
Not to Scale



MONTANA FISH, WILDLIFE AND PARKS
DESIGN AND CONSTRUCTION

MAILING ADDRESS: PO BOX 200701
HELENA, MT 59620-0701
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<https://fwp.mt.gov/aboutfwp/design-and-construction>

PHYSICAL ADDRESS: 1522 9th AVENUE
HELENA, MT 59601



Gilmore Franzen Consulting LLC
180 N. Low Bench Road
Gallatin Gateway, MT 59730
406-600-0464



DRAWING LIST

1.....	COVER SHEET
2.....	LOCATION MAPS & PHOTOGRAPHS
3.....	MANAGER'S HOUSE & OFFICE - PHOTOGRAPHS
4.....	MANAGER'S HOUSE & OFFICE - PLANS
5.....	FIRE HOUSE - PHOTOGRAPHS & ROOF PLAN
6.....	GIBSON HOUSE - PHOTOGRAPHS & ROOF PLAN
7.....	RE-ROOFING NOTES & DETAILS



LMGilmore	06/06/2022		
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**MONTANA FISH,
WILDLIFE & PARKS**

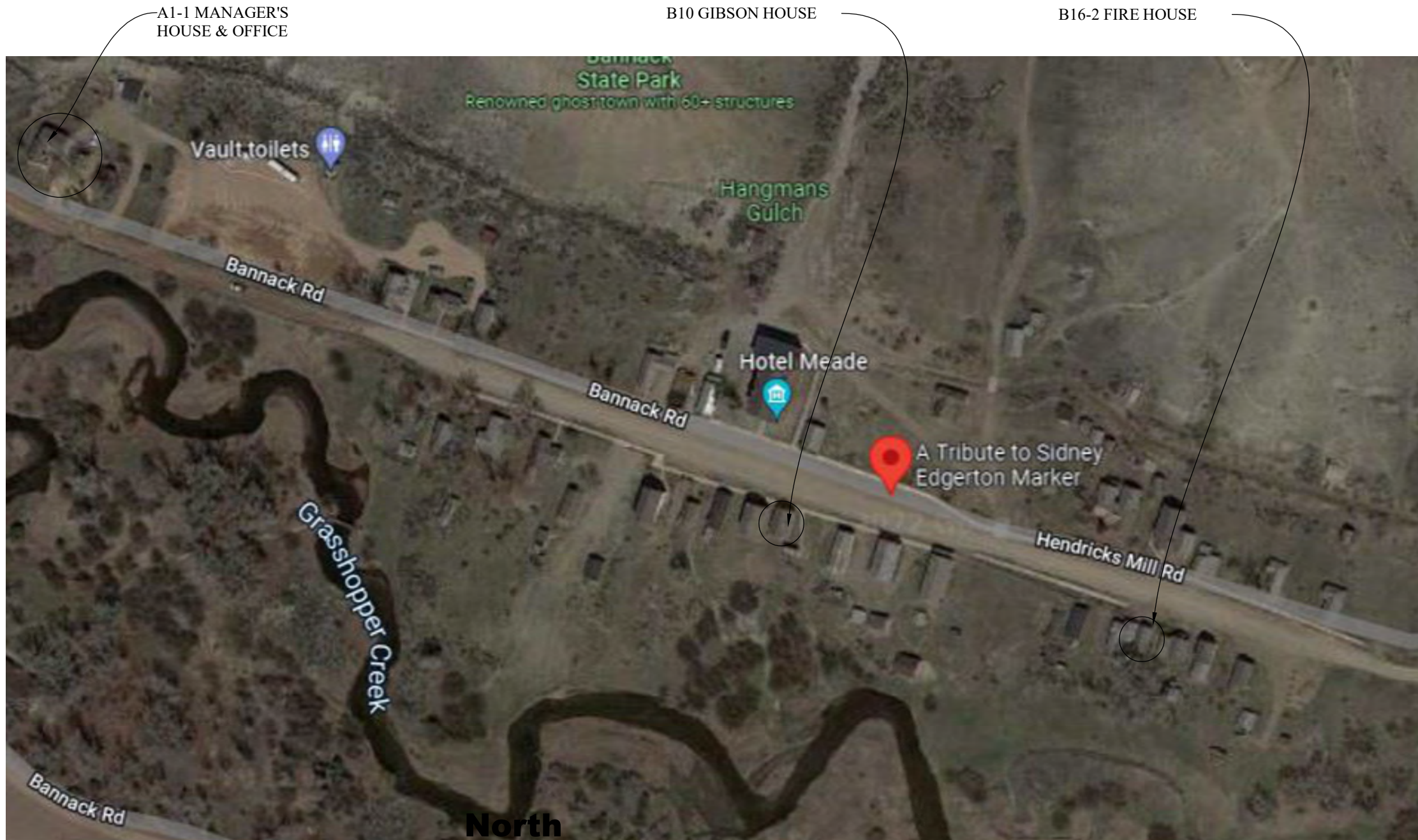
138

Bannack Re-Roofing Projects

Cover Sheet

Project #7216302

SHEET 1 of 7



4 Gibson House (B-10)
 Bid Alternate No. 2 Not to Scale



3 Fire House (B16-2)
 Bid Alternate No.1 Not to Scale



2 Manager's House & Office
 Base Bid Project (A1-1) Not to Scale

NOTE: THE DRAWING SCALES ARE ONLY APPLICABLE WHEN THE SHEET IS PRINTED ON 11" X 17" PAPER.

1 TOWN OF BANNACK, MT
 Map from GoogleMaps and Not to Scale

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Bannack Re-Roofing Projects
 Location Maps & Photographs

Project #7216302

Preservation Architect:
 Gilmore Franzen Consulting LLC
 180 North Low Bench Road
 Gallatin Gateway, MT 59730

SHEET: 2 of 7



3 **Manager's Office - Roof**
Aerial Photograph From the North - Not to Scale



4 **Manager's House - Chimney**
Photograph - Not to Scale



5 **Manager's House - Gutter**
Photograph - Not to Scale

- GENERAL CONSTRUCTION NOTES:**
1. See other sheets in this set for additional information.
 2. See notes and details on Sheet 7 for typical roof replacement information.
 3. Chimneys shall not be repaired, yet shall be reflashed as indicated.
 4. Dimensions shown are approximate and will vary depending upon the points being dimensioned.
 5. Contractor shall field verify all dimensions, layout, and roof slopes, for quantifying materials. Slope factor, waste, and overlap is incidental to the project.
 6. Contractor shall provide submittals for all materials to Owner for approval prior to procurement.
 7. Contractor shall conduct work Monday through Friday, 7:00 am to 7:00 pm. Additional hours and weekend work shall be subject to Owner approval. See 011000 Summary for Work Suspension Periods.
 8. Staging of all equipment and materials must be on state property or otherwise arranged by Contractor privately. Materials storage location must be approved by MFWP Project Manager for payment approval.
 9. Contractor shall erect and maintain safety barriers, after approval by Park Management.
 10. Contractor shall provide dumpsters for contractor use. Contractor shall clean up and discard off-site all refuse, remnants, fasteners, etc. DAILY. Such clean-up shall be subject to Owner approval prior to final payment.
 11. Contractor shall leave the surroundings in their pre-construction condition at project's completion.
 12. Contractor shall refasten any loose trim adjacent to (and affecting) roofing with BSP-furnished nails.



1 **Manager's House - Roof Photo from the North**
Aerial Photograph From the North - Not to Scale



2 **Manager's House - Roof Photo from the South**
Aerial Photograph - Not to Scale

NOTE: THE DRAWING SCALES ARE ONLY APPLICABLE WHEN THE SHEET IS PRINTED ON 11" X 17" PAPER.

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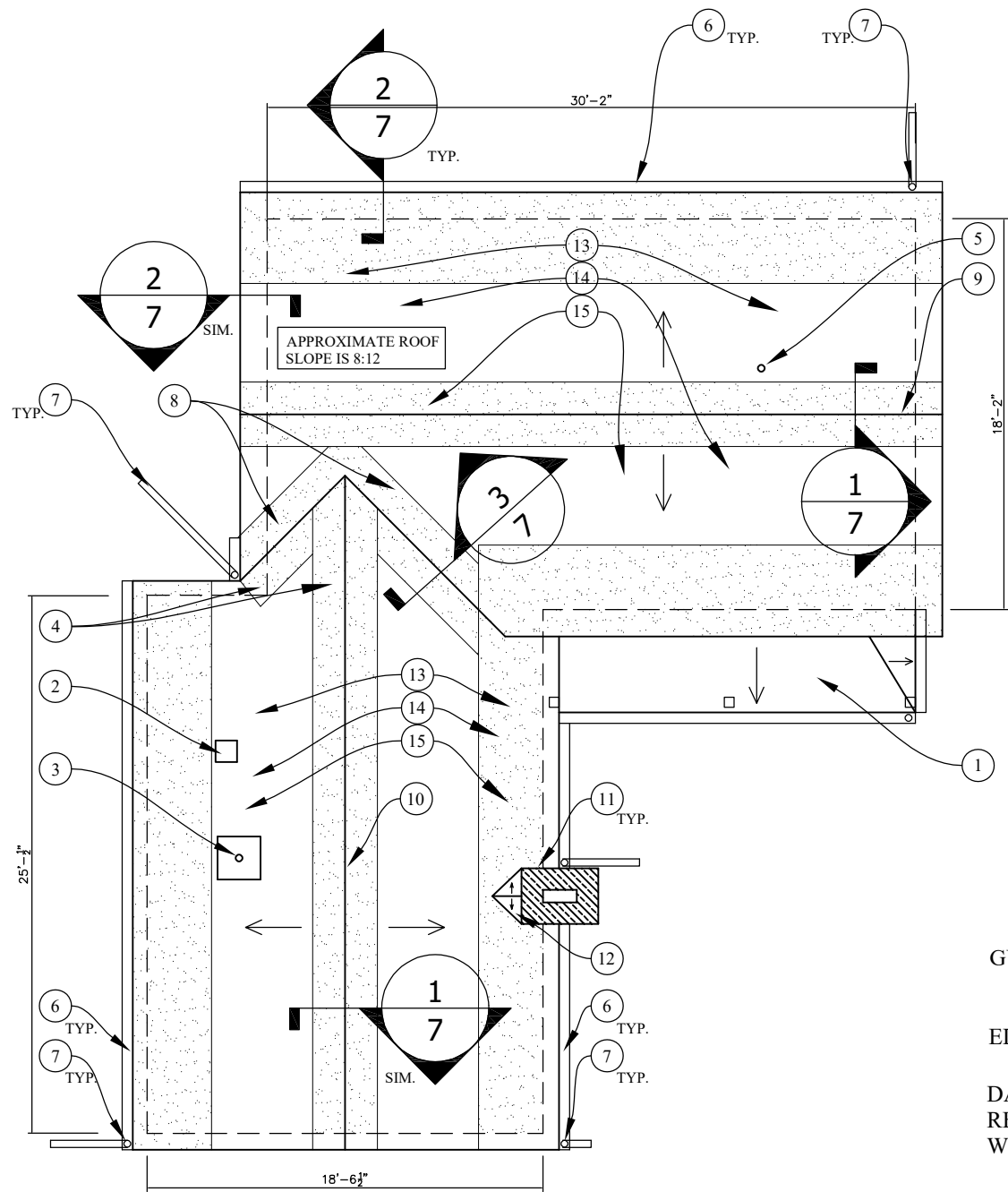


**MONTANA FISH,
WILDLIFE & PARKS**

Bannack Re-Roofing Projects Project #7216302
Manager's House & Office - Photographs Base Bid

Preservation Architect:
Gilmore Franzen Consulting LLC
180 North Low Bench Road
Gallatin Gateway, MT 59730

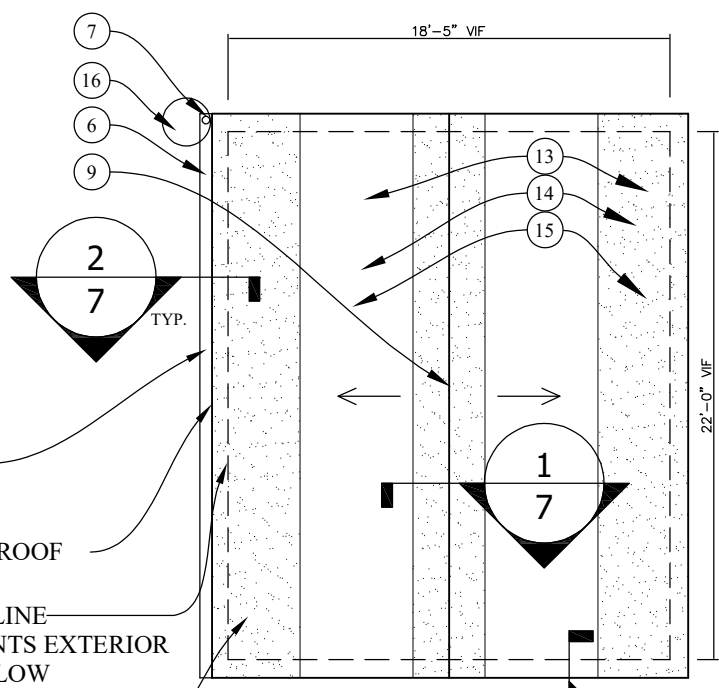
SHEET: **3**
of
7



HOUSE
 APPROXIMATE ROOF SLOPE IS 8:12. SHINGLES ARE 16" LONG WITH 5" EXPOSURE.

- ITEMIZED KEYED NOTES: ○
- Where reinstatement is included, reinstall within or after the proper sequencing of re-roofing. Flashing shall be placed under the shingles.
- Existing corrugated copper porch roof to remain in place.
 - Remove existing roof vent flashing, coat with enamel finish, and reinstall. See Photo 3/4.
 - Remove existing B-vent flashing, coat with enamel finish, and reinstall. See Photo 3/4.
 - Remove existing satellite dish mounting. Reinstall after roofing completed. Coordinate with Owner. See Photo 2/4.
 - Remove existing PVC vent flashing, coat metal with enamel finish, and reinstall.
 - Remove existing half-round copper gutter and mounting brackets. Coat brackets and inside face of gutter with enamel finish. Reinstall gutter at same height and brackets at same spacing. See Photo 5/3.
 - Remove existing copper downspout and extension. Reinstall after roofing completed. See Photo 5/3.
 - Remove existing copper V-crimped valley flashing, coat with enamel finish, and reinstall over high altitude self-adhering membrane. See 3/7.
 - Remove and discard existing board ridge cap. Provide pre-manufactured wood shingle ridge cap over self-adhering membrane. See 1/7.
 - Remove existing galvanized roll ridge cap. Reinstall after roofing completed.
 - Remove baby tin flashing at masonry chimney. Provide pre-finished sheet metal flashing as detailed. See Photo 4/3 and Detail 4/7.
 - Build pre-finished metal cricket at upslope side of chimney. See Detail 5/7.
 - Document typical length and exposure of existing wood shingles. Remove all existing wood roofing shingles down to existing board sheathing and discard off-site.
 - Inspect existing roof decking. Remove decking that is structurally unsound and install replica decking furnished by Bannack State Park. Replacement boards shall span minimum of 3 rafters.
 - Provide wood roofing shingles to provide complete coverage of roof slopes, per specifications and details.
 - Existing rain barrel to remain. Reconnect downspout at completion of project.

- GENERAL CONSTRUCTION NOTES:
- See other sheets in this set for additional information.
 - All General Construction Notes on Sheet 3 apply to this sheet.



OFFICE
 APPROXIMATE ROOF SLOPE IS 12:12. SHINGLES ARE 16" LONG WITH 5" EXPOSURE.



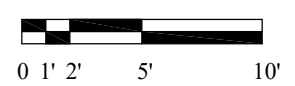
3 Manager's House - Existing Vents
 Photograph - Not to Scale



2 Manager's House - Satellite
 Photograph - Not to Scale

NOTE: THE DRAWING SCALES ARE ONLY APPLICABLE WHEN THE SHEET IS PRINTED ON 11" X 17" PAPER.

1 Manager's House & Office - Roof Plans
 Scale: 1/8" = 1'-0"



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Bannack Re-Roofing Projects
 Manager's House & Office - Plans

Project #7216302
 Base Bid

Preservation Architect:
 Gilmore Franzen Consulting LLC
 180 North Low Bench Road
 Gallatin Gateway, MT 59730

SHEET: 4 of 7



3 Firehouse - Roof Photo from the West
Aerial Photograph - Not to Scale



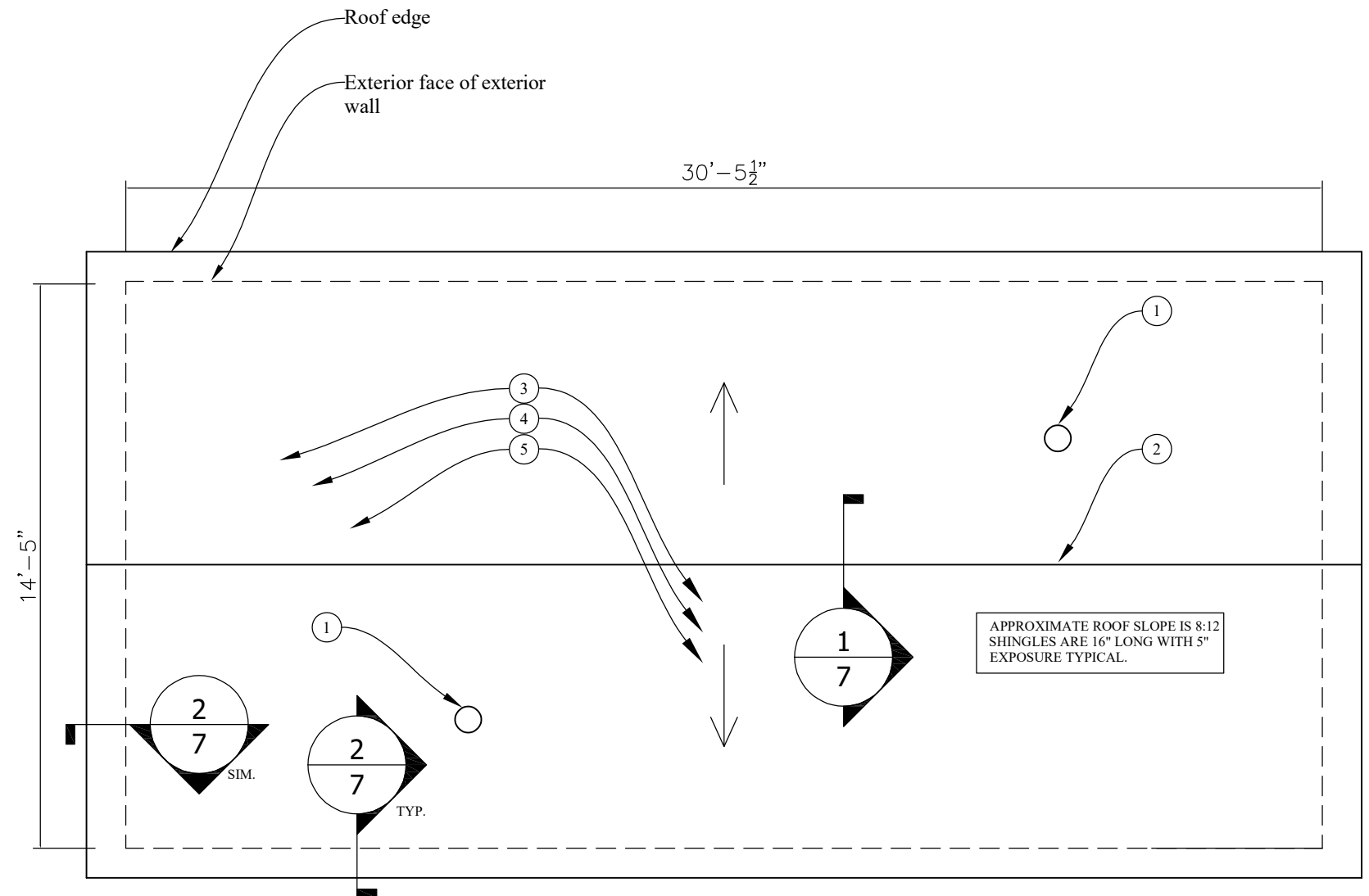
1 Firehouse - Roof Photo from the East
Aerial Photograph - Not to Scale

ITEMIZED KEYED NOTES: ○

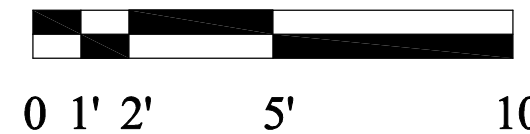
1. Remove existing vent-through-roof. Patch board sheathing with boards furnished by BSP.
2. Remove and discard existing board ridge cap. Provide pre-manufactured wood shingle ridge cap.
3. Document typical length and exposure of existing wood shingles. Remove all existing wood roofing shingles down to existing board sheathing and discard off-site.
4. Inspect existing roof decking. Remove decking that is structurally unsound and install replica decking furnished by Bannack State Park. Replacement boards shall span minimum of 3 rafters.
5. Provide wood roofing shingles to provide complete coverage of roof slopes, per specifications and details.

GENERAL CONSTRUCTION NOTES:

1. See other sheets in this set for additional information.
2. All General Construction Notes on Sheet 3 apply to this sheet.



2 Fire House - Roof Plan
Scale: 1/4" = 1'-0"



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**MONTANA FISH,
WILDLIFE & PARKS**

Bannack Re-Roofing Projects
Fire House - Photographs & Roof Plan
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Project #7216302
Alternate No. 1

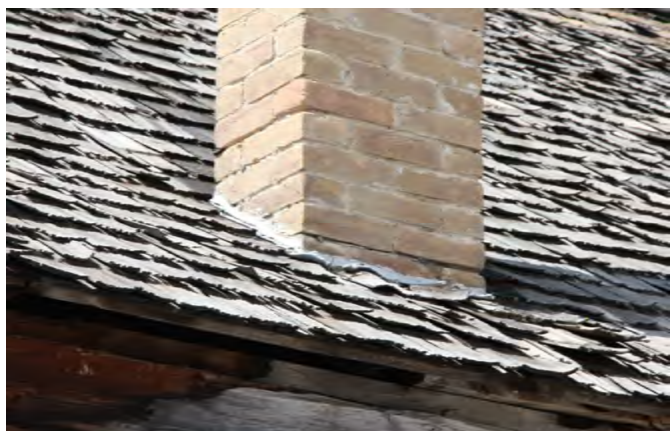
Preservation Architect:
Gilmore Franzen Consulting LLC
180 North Low Bench Road
Gallatin Gateway, MT 59730

SHEET: 5 of 7



4 Gibson House - West Chimney Photo

Photograph - Not to Scale



3 Gibson House - East Chimney Photo

Photograph - Not to Scale



1 Gibson House - Roof Photo from East

Aerial Photograph - Not to Scale

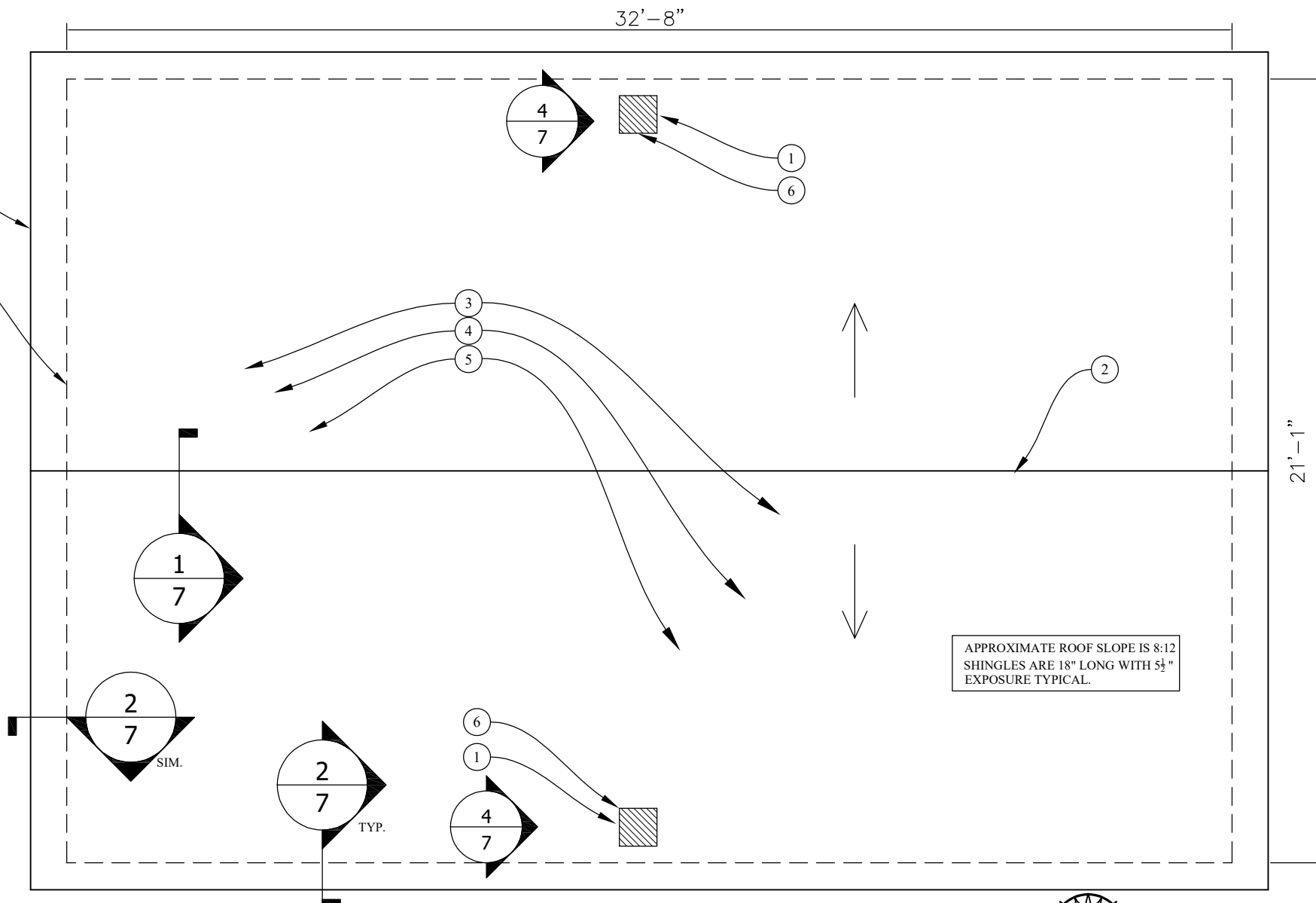
ITEMIZED KEYED NOTES: ○

1. Remove any existing sheet metal flashing at base of brick chimney. Provide sheet metal flashing coated with clear enamel finish. See detail 4/7.
2. Remove and discard existing board ridge cap. Provide pre-manufactured wood shingle ridge cap.
3. Document typical length and exposure of existing wood shingles. Remove all existing wood roofing shingles down to existing board sheathing and discard off-site.
4. Inspect existing roof decking. Remove decking that is structurally unsound and install replica decking furnished by Bannack State Park. Replacement boards shall span minimum of 3 rafters.

5. Provide wood roofing shingles to provide complete coverage of roof slopes, per specifications and details.
6. Contractor shall remove the tar sealer from the base of the chimney. The tar has been tested to be a Category I non-friable asbestos; removal is not regulated by MT DEQ as long as the material is not rendered friable during removal. Contractor shall not grind or saw the tar sealer. Contractor shall remove the tar and any loose material it is adhered to, segregate it, properly bag and label it, then transport it off site for disposal to a landfill that accepts non-friable asbestos waste. For further information and test results, see Asbestos Sampling Report, dated November 11, 2021, in the Project Manual.

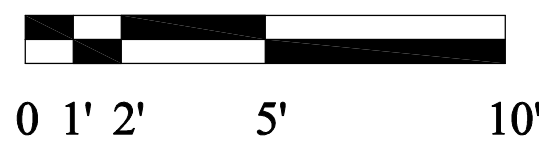
GENERAL CONSTRUCTION NOTES:

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2. All General Construction Notes on Sheet 3 apply to this sheet.



2 Gibson House - Roof Plan

Scale: 1/4" = 1'-0"



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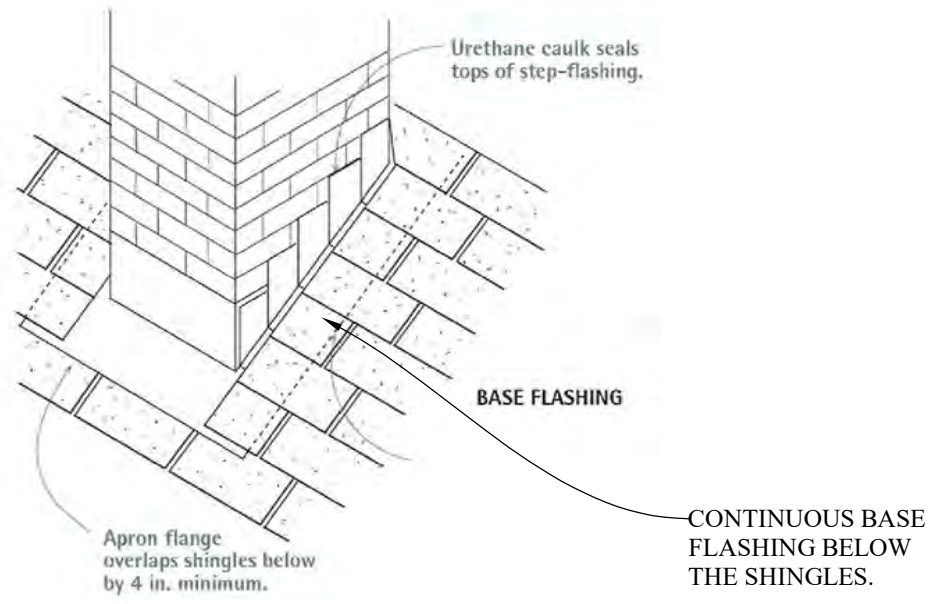
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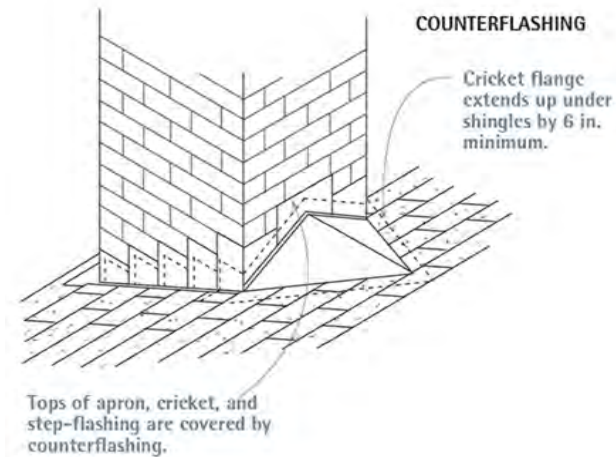
Bannack Re-Roofing Projects
 Gibson House - Photographs & Roof Plan
 Project #7216302
 Alt. No. 2

Preservation Architect:
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 Gallatin Gateway, MT 59730

SHEET: 6 of 7



4 Chimney Detail
Not to Scale



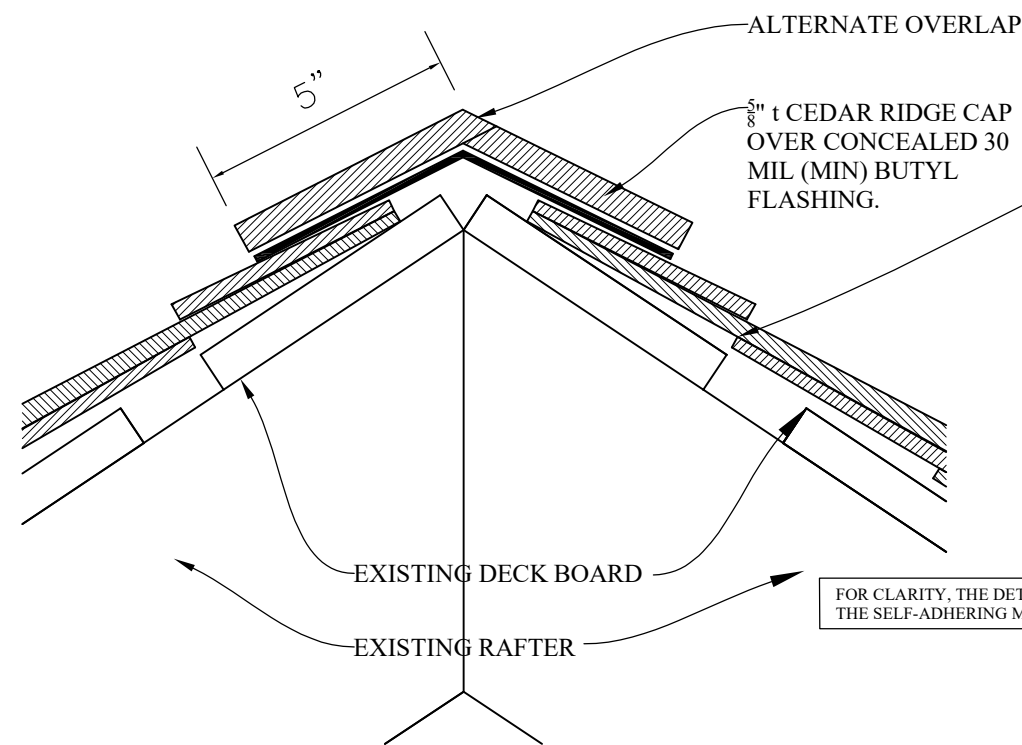
5 Chimney Detail
Not to Scale

SPECIFIC ROOFING NOTES:

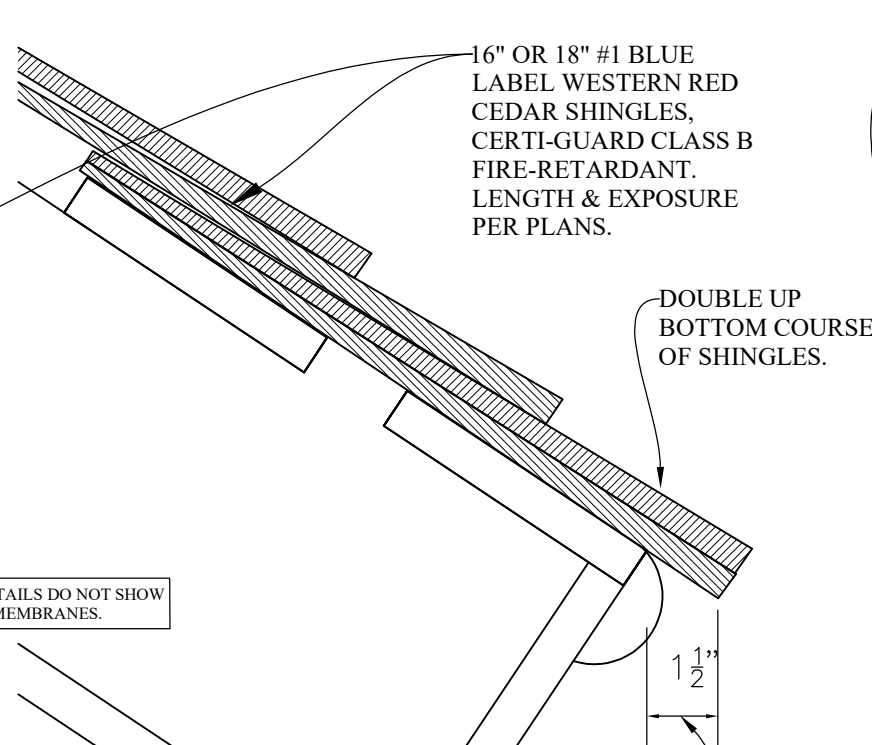
1. Construction details & methods shall comply with the "New Roof Construction Manual, 2020 Edition," prepared by the Cedar Shake & Shingle Bureau (CSSB). The CSSB manual shall be referenced for construction methods, details, and specification.
2. See individual sheets for specific notes regarding each structure.
3. Do not drive nails through decking. Any splitting, incorrect nail depth, or related damage from the nailing process shall be corrected at contractor expense.
4. Existing shingles and ridge cap must be removed. Layering over old shingles shall not be permitted.
5. Shingle overhangs: 1½" overhang along rakes and eaves.
6. Shingle spacing, as required for fire-retardant treated shingles: ¼" - ¾".
7. The first row of shingles at the eaves shall be doubled.
8. See technical specifications for materials and installation requirements.
9. To comply with fire-retardant product instructions, all copper and non-coated sheet metal surfaces downslope of the shingles (including galvanized steel) shall be coated with two coats of a clear acrylic enamel finish. Contractor shall thoroughly wash and rinse (less than 125 psi) the roofing immediately after application to significantly reduce the risk of staining and corrosion cause by water runoff.

GENERAL CONSTRUCTION NOTES:

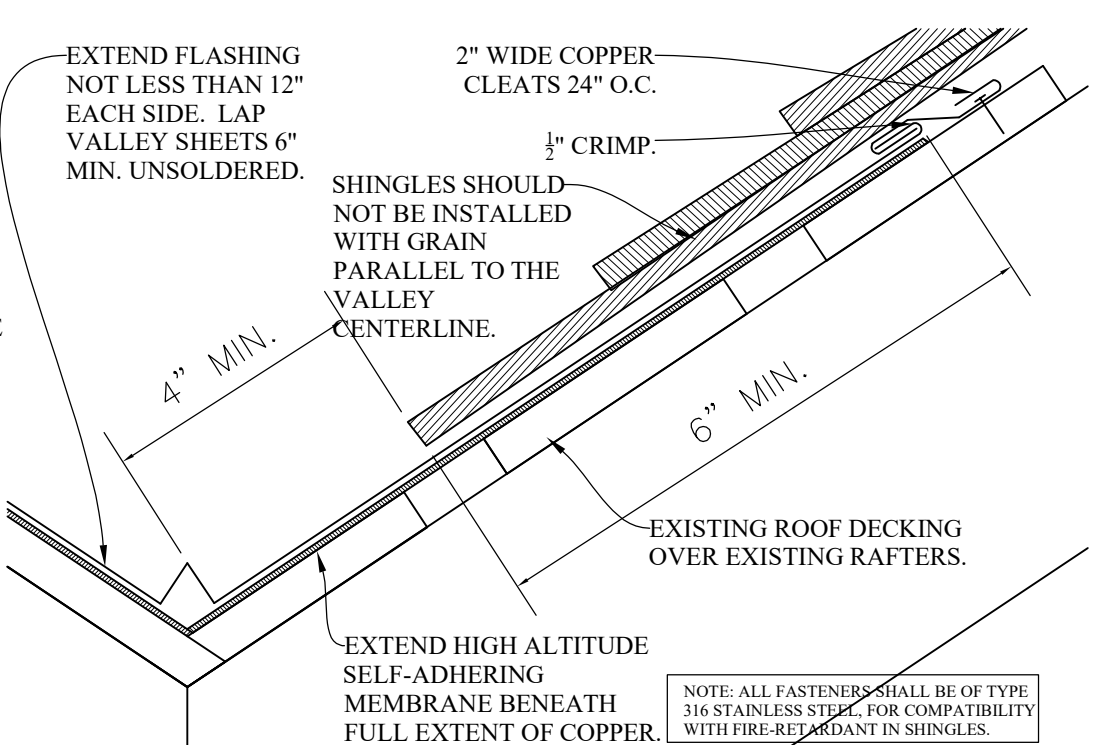
1. See other sheets in this set for additional information.
2. All General Construction Notes on Sheet 3 apply to this sheet.



1 Ridge Detail
Scale: 3" = 1'-0"



2 Eave Detail
Scale: 3" = 1'-0"



3 Valley Detail
Scale: 3" = 1'-0"

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**MONTANA FISH,
WILDLIFE & PARKS**

**Bannack Re-Roofing Projects
Re-Roofing Notes & Details**

Project #7216302

Preservation Architect:
Gilmore Franzen Consulting LLC
180 North Low Bench Road
Gallatin Gateway, MT 59730

SHEET: **7**
of **7**