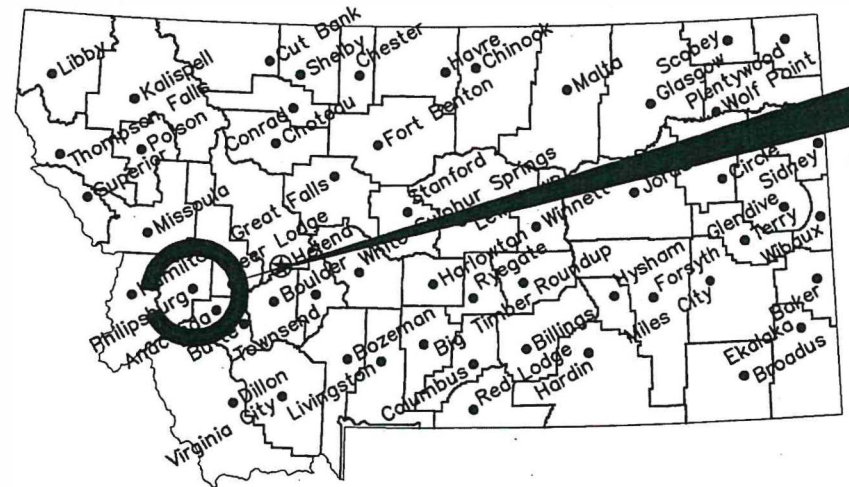


MONTANA FISH, WILDLIFE & PARKS  
**Granite Ghost Town**  
**Superintendents House Re-roof**

Granite County

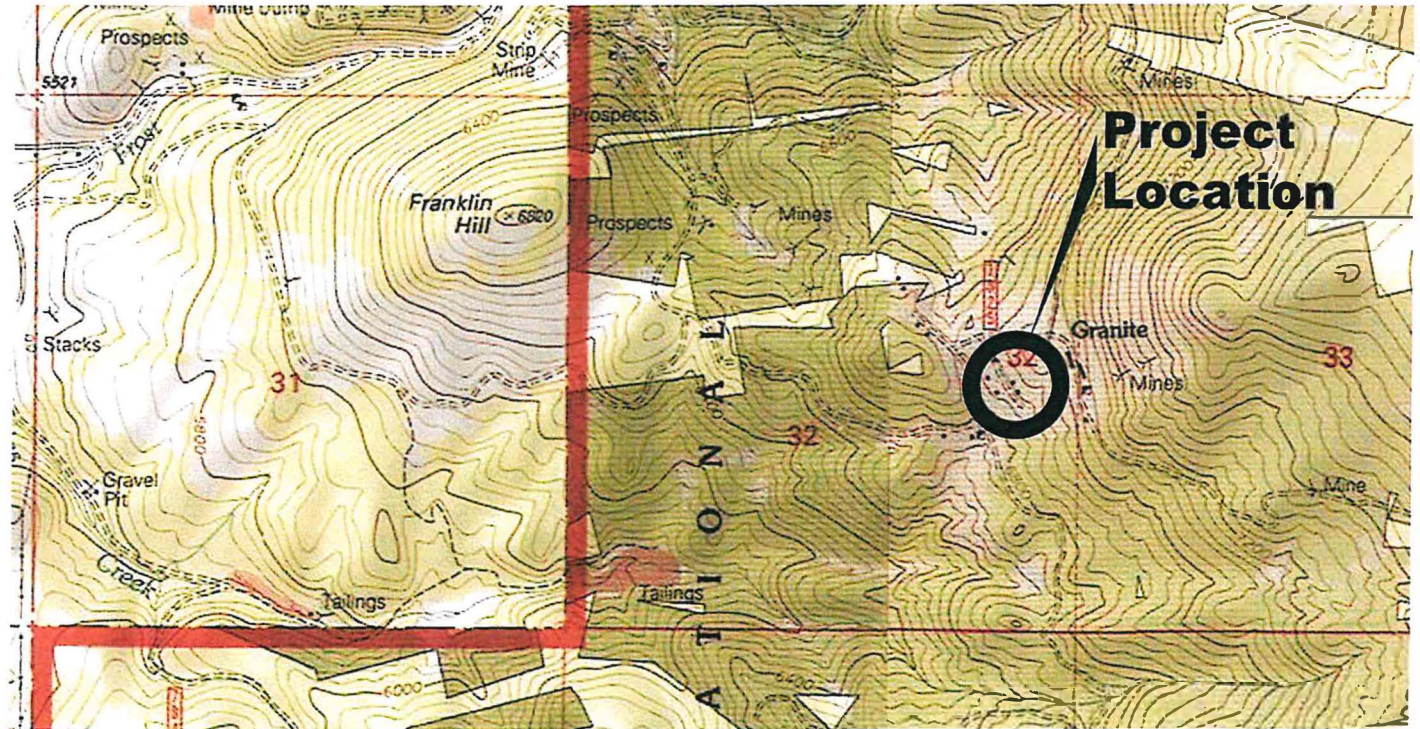
FWP#7216323



**Project Location**

**Location Map**

No Scale



**Project Location**

North



**Vicinity Map**

No Scale

MONTANA FISH, WILDLIFE AND PARKS  
 DESIGN AND CONSTRUCTION

MAILING ADDRESS: PO BOX 200701  
 HELENA, MT 59620-0701  
 TEL 406.841.4000  
 FAX 406.841.4004  
<https://fwp.mt.gov/aboutfwp/design-and-construction>

PHYSICAL ADDRESS: 1522 9th AVENUE  
 HELENA, MT 59601

**DRAWING INDEX**

Sheet 1.) Cover sheet  
 Sheet 2.) Site plan, Details, and Notes  
 Sheet 3.) Additional Photos



K.Harrington DRAWN BY:	01/24/22 DATE:	APPROVED BY:	DATE:	APPROVED BY:	DATE:
CHECKED BY:	DATE:	APPROVED BY:	DATE:	APPROVED BY:	DATE:

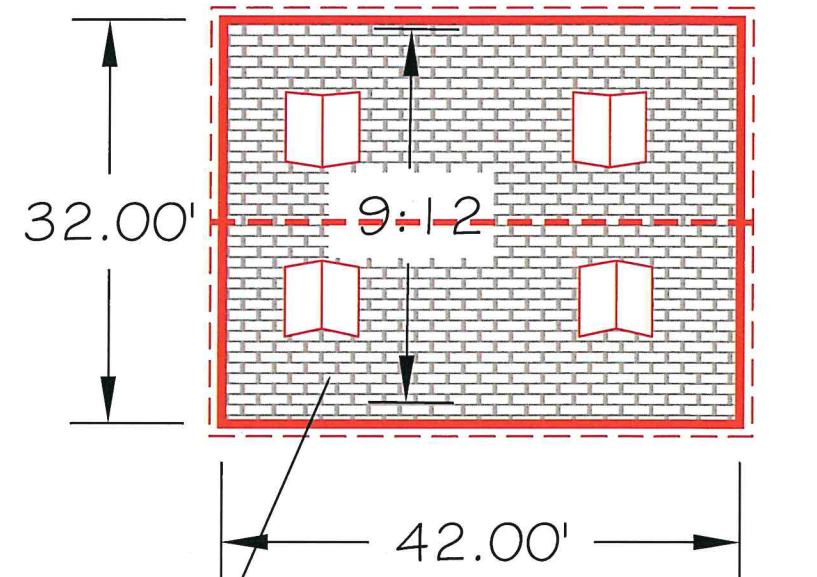
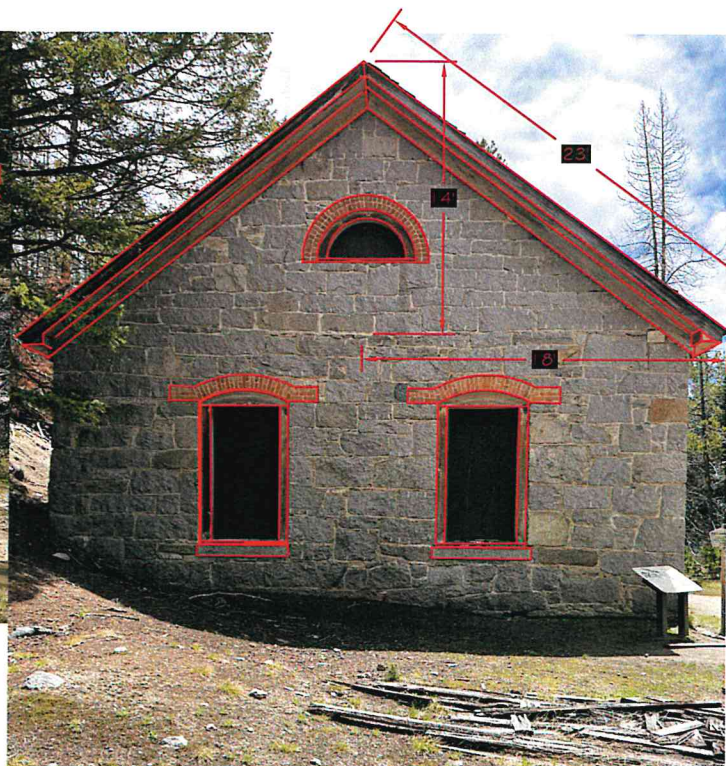


**MONTANA FISH, WILDLIFE & PARKS** 125 **Cover Sheet**

Granite Ghost Town State Park Superintendents House Re-roof



SHEET 1 of 3



**BUILDING FOOTPRINT**

16" #1 BLUE LABEL  
RED CEDAR SHINGLES,  
CERTI-GUARD® CLASS B  
FIRE-RETARDANT,  
5" EXPOSURE.  
Cedar Shakes area is approximately  
2500sf. Contractor should field  
verify all quantities.

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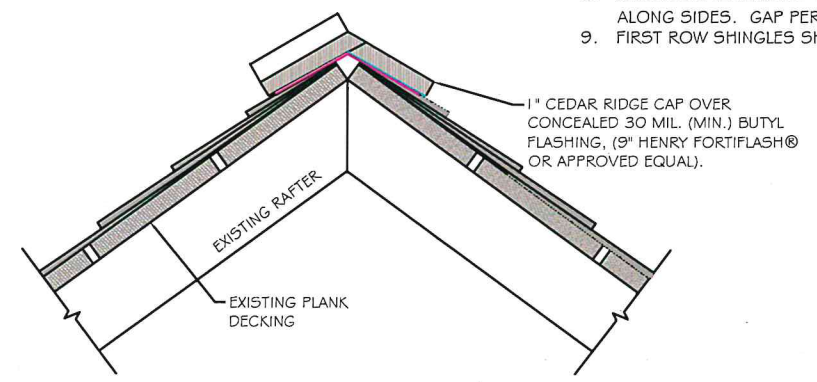


**GENERAL NOTES:**

1. CONFIRM DIMENSIONS AND LAYOUT FOR QUANTIFYING MATERIALS. SLOPE FACTOR, WASTE, AND OVERLAP IS INCIDENTAL TO THE PROJECT.
2. PROVIDE SUBMITTAL FOR ALL MATERIALS TO OWNER FOR APPROVAL PRIOR TO PROCUREMENT.
3. OBTAIN ALL PERMITS NECESSARY FOR WORK.
4. CONDUCT WORK MONDAY THROUGH FRIDAY, 8:00AM TO 5:00 PM. ADDITIONAL HOURS AND WEEKEND WORK IS SUBJECT TO OWNER APPROVAL.
5. STAGING OF ALL EQUIPMENT AND MATERIALS MUST BE ON STATE PROPERTY OR OTHERWISE ARRANGED BY CONTRACTOR PRIVATELY. MATERIALS STORAGE LOCATION MUST BE APPROVED BY PROJECT MANAGER FOR PAYMENT APPROVAL.
6. PROVIDE DUMPSTERS AND PORTABLE BATHROOM FACILITIES FOR CONTRACTOR USE. ALL REFUSE, REMNANTS, FASTENERS, ETC. MUST BE CLEANED UP AND IS SUBJECT TO OWNER APPROVAL PRIOR TO FINAL PAYMENT.
7. SURROUNDINGS MUST BE LEFT IN PRE-CONSTRUCTION CONDITION.

**CONSTRUCTION NOTES:**

1. CONSTRUCTION DETAILS & METHODS SHALL COMPLY WITH THE "NEW ROOF CONSTRUCTION MANUAL, 2020 EDITION", PREPARED BY THE CEDAR SHAKE & SHINGLE BUREAU (C55B). THE C55B MANUAL SHALL BE REFERENCED FOR CONSTRUCTION METHODS, DETAILS, AND SPECIFICATIONS.
2. SEE INDIVIDUAL SHEETS FOR SPECIFIC NOTES REGARDING STRUCTURE.
3. REMOVE EXISTING RIDGE BOARDS, SHINGLES AND UNSUITABLE FLASHING MATERIALS. DISPOSE OFF-SITE AT LOCATION DETERMINED BY CONTRACTOR.
4. FLASH FALSE FRONT CORNICE TOPS WITH CONTINUOUS 26 GA. GALVANIZED STEEL FLASHING MATERIAL. SEE PHOTOS SHOWING THE EXISTING FLASHING AND TRIM. RE-SEAL FLASHING JOINTS WHERE EXISTING FLASHING IS PRESERVED. REPLACE WOOD CORNICE TRIM WITH CEDAR TO MATCH EXISTING.
5. PROVIDE AND INSTALL NEW SHINGLES AND RIDGE BOARDS. RIDGE BOARD JOINTS SHALL BE THE MINIMUM REQUIRED TO SPAN THE LENGTH OF THE ROOF. UNDERLAY RIDGE BOARDS WITH CONTINUOUS 30 MIL (MIN.) BUTYL FLASHING.
6. DO NOT DRIVE NAILS THROUGH DECKING. ANY SPLITTING, INCORRECT NAIL DEPTH, OR RELATED DAMAGE FROM THE NAILING PROCESS SHALL BE CORRECTED AT CONTRACTOR EXPENSE.
7. EXISTING SHINGLES AND RIDGECAP MUST BE REMOVED, LAYERING OVER OLD SHINGLES IS NOT ACCEPTABLE.
8. SHINGLE OVERHANGS: 1-1/2" OVERHANG ALONG FRONTS, 3/4" OVERHANG ALONG SIDES. GAP PER MANUFACTURER'S RECOMMENDATIONS, OR 1/8".
9. FIRST ROW SHINGLES SHALL BE DOUBLED.



**TYPICAL SHINGLE AND RIDGE CAP INSTALLATION DETAIL**

K.HARRINGTON	01/24/22
DRAWN BY:	DATE:
CHECKED BY:	DATE:

REVISED BY:	DATE:
APPROVED BY:	DATE:

APPROVED BY:	DATE:
APPROVED BY:	DATE:



**MONTANA FISH, WILDLIFE & PARKS** 126 **SITE PLAN, DETAILS, AND NOTES**  
Granite Ghost Town State Park Superintendents House Re-roof





K.HARRINGTON 01/24/22  
 DRAWN BY: DATE:  
 CHECKED BY: DATE:

REVISED BY: DATE:  
 APPROVED BY: DATE:

APPROVED BY: DATE:  
 APPROVED BY: DATE:



**MONTANA FISH,  
 WILDLIFE & PARKS**

**SITE PHOTOS**

Granite Ghost Town State Park Superintendents House Re-roof



SHEET: 3  
 of 3