

# MONTANA FISH, WILDLIFE & PARKS

## Fort Owen East Barracks Preservation - Phase II

### Stevensville, Montana

## 100% Construction Drawings

### February 14, 2023

Project #7216207



East Elevation



West Elevation (New ramp not shown)



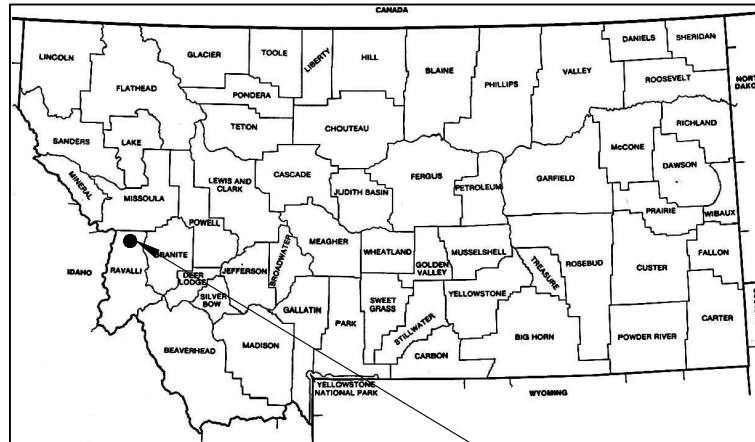
North Elevation



South Elevation

#### GENERAL PROJECT NOTES

1. THE FORT OWEN STATE PARK IS LISTED INDIVIDUALLY IN THE NATIONAL REGISTER OF HISTORIC PLACES. THE GENERAL CONTRACTOR SHALL FOLLOW THE SECRETARY OF THE INTERIOR'S STANDARDS FOR PRESERVATION FOR ALL WORK PERFORMED ON THE EAST BARRACKS. THE INTENT IS TO SAVE AS MUCH ORIGINAL ADOBE AND MORTAR AS POSSIBLE, WHILE STABILIZING THE BUILDING AND PREVENTING WATER INTRUSION.
2. THE GENERAL CONTRACTOR SHALL COORDINATE ALL DIGGING ON SITE WITH MONTANA FISH WILDLIFE & PARK'S ARCHAEOLOGIST & CONSULTANT.
3. THE GENERAL CONTRACTOR SHALL PROVIDE TEMPORARY STRUCTURAL BRACING AND/OR SHORING AS REQUIRED TO SUPPORT THE WORK AND PROTECT THE BUILDING.
4. THE GENERAL CONTRACTOR SHALL PROTECT ALL SURFACES TO REMAIN.
5. ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH ALL APPLICABLE CODES, ORDINANCES, AND REGULATIONS, INCLUDING BUT NOT LIMITED TO, THE 2021 INTERNATIONAL EXISTING BUILDING CODE - CHAPTER 3 FOR REPAIRS.
6. DO NOT SCALE THE DRAWINGS. VERIFY ALL DIMENSIONS IN THE FIELD. CONTACT THE ARCHITECT FOR FURTHER CLARIFICATION.
7. THE GENERAL CONTRACTOR AND ALL SUB-CONTRACTORS SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO THE START OF CONSTRUCTION. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY INCONSISTENCIES OR DISCREPANCIES IN THE DRAWINGS AND/OR SPECIFICATIONS.
8. ALL WORK SHOWN ON THESE DRAWINGS IS NEW UNLESS OTHERWISE INDICATED.
9. ALL MATERIALS SHOWN ON THESE DRAWINGS ARE EXISTING UNLESS OTHERWISE INDICATED.
10. SEE SHEET 3 FOR TERMINOLOGY AND DEFINITIONS SPECIFIC TO THIS PROJECT.
11. THIS PROJECT IS BEING BID WITH TWO ALTERNATE BIDS IN ADDITION TO THE BASE BID:
  - A. ALT. NO. 1: EAST INTERIOR WALL OF ROOM #101 - RESTORATION OF BASE OF WALL. SEE DETAILS 1 & 2, SHEET 6.
  - B. ALT. NO. 2: EAST INTERIOR WALL OF ROOM #102 - RESTORATION OF BASE OF WALL. SEE DETAILS 3 & 4, SHEET 6.



1

#### LOCATION MAP

Not to Scale

Project Location



2

#### VICINITY MAP

Not to Scale

North



MONTANA FISH, WILDLIFE AND PARKS  
DESIGN AND CONSTRUCTION

MAILING ADDRESS: PO BOX 200701  
HELENA, MT 59620-0701  
TEL 406.841.4000  
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<https://fwp.mt.gov/aboutfwp/design-and-construction>

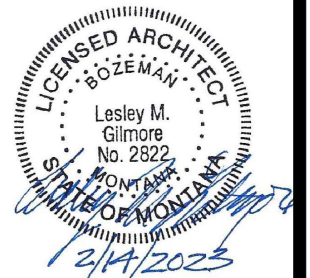


Gilmore Franzen Consulting LLC  
180 N. Low Bench Road  
Gallatin Gateway, MT 59730  
406-600-0464



#### DRAWING LIST

- 1.....COVER
- 2.....SITE PLAN
- 3.....TERMINOLOGY & CROSS SECTION
- 4.....FLOOR PLAN
- 5.....EAST ELEVATIONS
- 6.....DETAILS
- 7.....DETAILS



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**MONTANA FISH,  
WILDLIFE & PARKS**

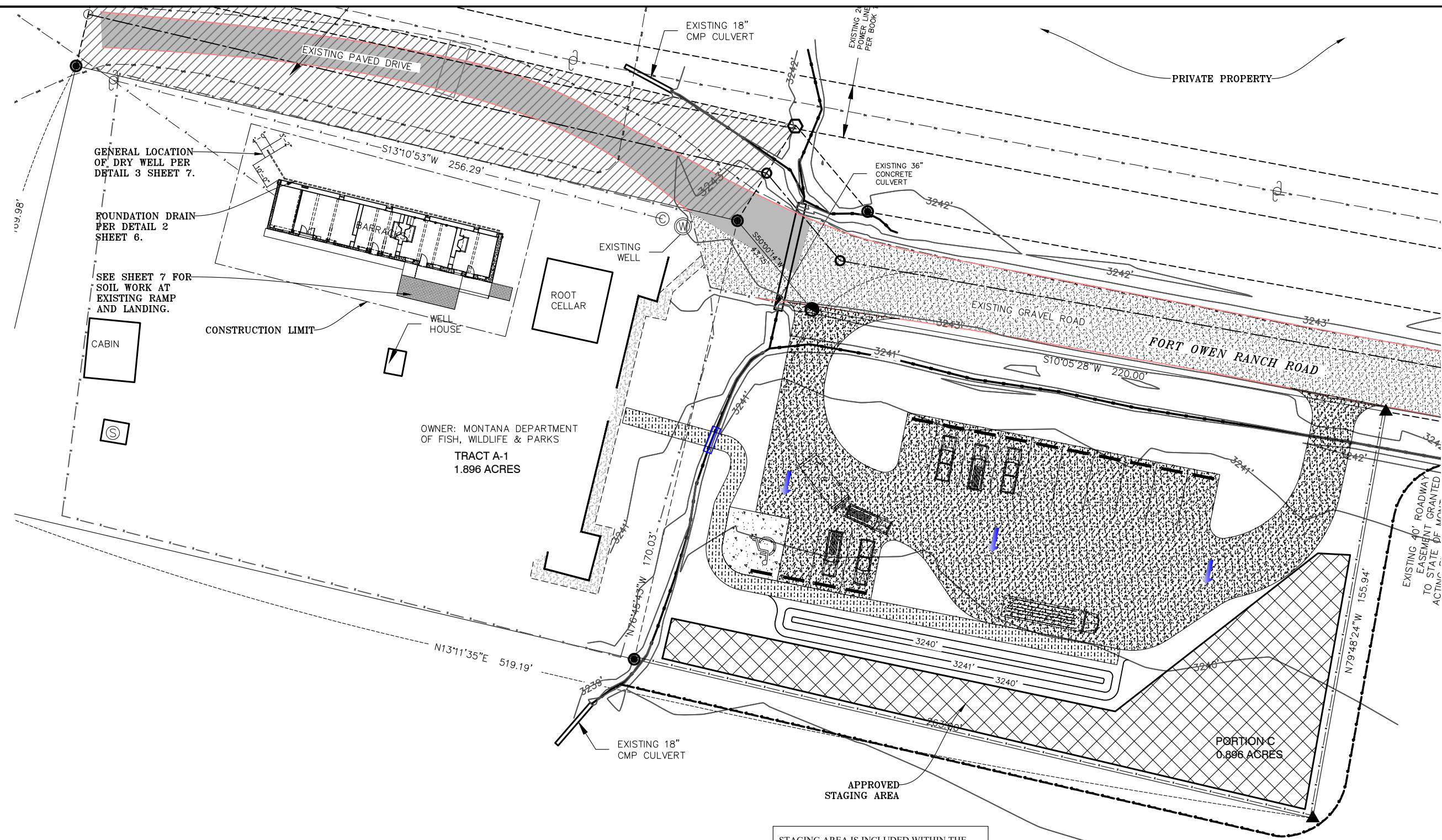
140

Fort Owen East Barracks Preservation - Phase II  
Cover Sheet  
Project #7216207

SHEET: 1 of 7



- GENERAL CONSTRUCTION NOTES:
1. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
  2. SEE SHEET 3 FOR TERMINOLOGY AND BUILDING CROSS-SECTION.
  3. THE GOAL OF THIS PROJECT IS TO PRESERVE AND STABILIZE THE EAST FACADE. ROUGH EDGES AND UNLEVEL COURSING WILL REMAIN.
  4. SEE SPECIFICATIONS SECTION 045000 FOR SEQUENCING OF WORK.
  5. THE ADOBE ARE APPROXIMATELY 18" X 8" X 3 1/2" TO 4" TALL. THE MORTAR JOINTS RANGE FROM 1" TO 1 1/2" WIDE.
  6. REPLICA ADOBE HAVE BEEN FABRICATED AND SHALL BE FURNISHED TO THE CONTRACTOR FOR INSTALLATION. THERE IS NO ADOBE FABRICATION IN THIS PROJECT.
  7. CONTRACTOR SHALL CALL 811 TO LOCATE ALL UTILITY LINES PRIOR TO ANY DIGGING ON SITE.
  8. CONTRACTOR SHALL COORDINATE WITH MFWP AND THEIR ARCHAEOLOGICAL CONSULTANT BEFORE AND DURING ANY DIGGING ON SITE.



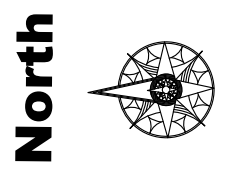
STAGING AREA IS INCLUDED WITHIN THE BOUNDARY OF THE NATIONAL REGISTER OF HISTORIC PLACES SITE. CONTRACTOR SHALL:

1. COORDINATE LOCATION FOR USE IN THE STAGING AREA WITH MONTANA FISH WILDLIFE & PARKS.
2. PROTECT THE SITE FROM HARM SO THAT THE SITE AT THE END OF THE PROJECT IS THE SAME AS AT THE START.

NOTE: THE DRAWING SCALES ARE ONLY APPLICABLE WHEN THE SHEET IS PRINTED ON 11" X 17" PAPER.

**1 SITE PLAN**

Scale: 1"=40'-0"



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**MONTANA FISH, WILDLIFE & PARKS**

**Fort Owen East Barracks Preservation - Phase II**  
**Site Plan** Project #7216207  
 141 2/14/2023

Preservation Architect:  
 Gilmore Franzen Consulting LLC  
 180 North Low Bench Road  
 Gallatin Gateway, MT 59730

SHEET: **2 of 7**



TERMINOLOGY USED THROUGHOUT THE BID DOCUMENTS:

SEE ALSO ANNOTATED DRAWING & PHOTO ON THIS SHEET.

DEFINITIONS:

1. ADOBE: SUN-DRIED, EARTHEN BRICK.
2. APRON: CONCRETE POURED UP NEXT TO THE BASE OF AN ERODED HISTORIC ADOBE WALL. ALSO CALLED A COLLAR OR CONTRA PARED.
3. BASAL: AT THE BASE (BOTTOM) OF THE WALL.
4. CEMENTITIOUS: COMPRISED OF CEMENT AND CAPABLE OF SETTING LIKE CEMENT.
5. PRESERVATION: THE ACT OR PROCESS OF APPLYING MEASURES NECESSARY TO SUSTAIN THE EXISTING FORM, INTEGRITY, AND MATERIALS OF AN EXISTING PROPERTY. WORK, INCLUDING PRELIMINARY MEASURES TO PROTECT AND STABILIZE THE PROPERTY, GENERALLY FOCUSES ON THE ONGOING MAINTENANCE AND REPAIR OF HISTORIC MATERIALS AND FEATURES RATHER THAN EXTENSIVE REPLACEMENT AND NEW CONSTRUCTION.
6. PROVIDE: FURNISH & INSTALL.
7. TYPICAL: APPLIED TO EVERY INSTANCE OF A DEPICTION OF THE COMPONENT REFERRED TO, SUCH AS A NOTE DIRECTED TOWARD AN ADOBE UNIT WITHIN SCOPE OF WORK AREA.
8. WINDOWSILL: HORIZONTAL MEMBER AT THE BOTTOM OF A WINDOW OPENING.
9. WYTHE: EACH CONTINUOUS VERTICAL SECTION OF A WALL ONE MASONRY UNIT IN THICKNESS.

GENERAL CONSTRUCTION NOTES:

1. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
2. SEE SHEET 3 FOR TERMINOLOGY AND BUILDING CROSS-SECTION.
3. THE GOAL OF THIS PROJECT IS TO PRESERVE AND STABILIZE THE EAST FACADE. ROUGH EDGES AND UNLEVEL COURSING WILL REMAIN.
4. SEE SPECIFICATIONS SECTION 045000 FOR SEQUENCING OF WORK.
5. THE ADOBE ARE APPROXIMATELY 18" X 8" X 3 1/2" TO 4" TALL. THE MORTAR JOINTS RANGE FROM 1" TO 1 1/2" WIDE.
6. REPLICA ADOBE HAVE BEEN FABRICATED AND SHALL BE FURNISHED TO THE CONTRACTOR FOR INSTALLATION. THERE IS NO ADOBE FABRICATION IN THIS PROJECT.

EXTENT OF PURPORTED FOUNDATIONS & FOOTINGS AT SOUTH AND NORTH WALLS ARE BASED UPON 1993 CONSTRUCTION DRAWINGS BY JIM McDONALD.

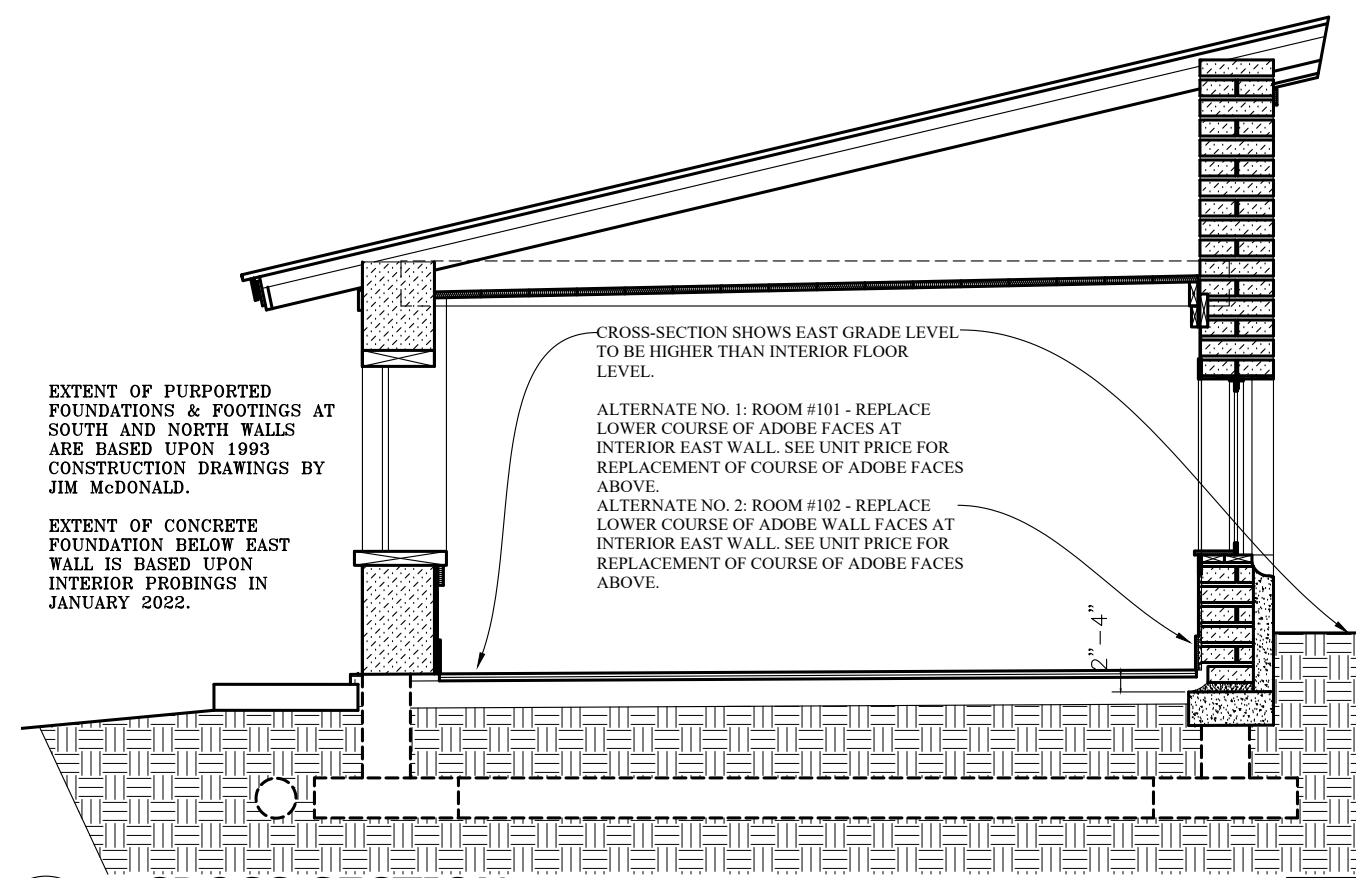
EXTENT OF CONCRETE FOUNDATION BELOW EAST WALL IS BASED UPON INTERIOR PROBINGS IN JANUARY 2022.

CROSS-SECTION SHOWS EAST GRADE LEVEL TO BE HIGHER THAN INTERIOR FLOOR LEVEL.

ALTERNATE NO. 1: ROOM #101 - REPLACE LOWER COURSE OF ADOBE FACES AT INTERIOR EAST WALL. SEE UNIT PRICE FOR REPLACEMENT OF COURSE OF ADOBE FACES ABOVE.

ALTERNATE NO. 2: ROOM #102 - REPLACE LOWER COURSE OF ADOBE WALL FACES AT INTERIOR EAST WALL. SEE UNIT PRICE FOR REPLACEMENT OF COURSE OF ADOBE FACES ABOVE.

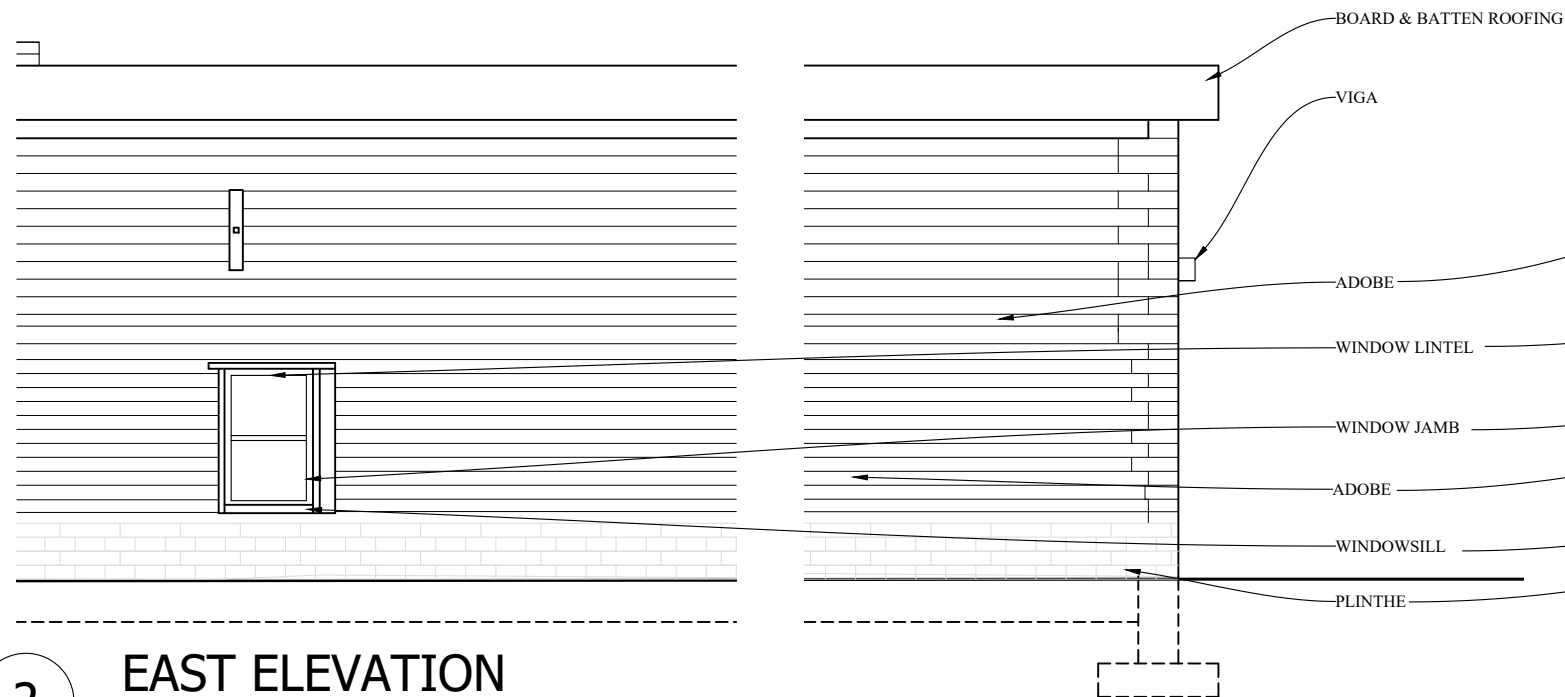
2" - 4"



1 CROSS SECTION  
Scale: 1/4" = 1'-0"



NOTE: THE DRAWING SCALES ARE ONLY APPLICABLE WHEN THE SHEET IS PRINTED ON 11" X 17" PAPER.



2 EAST ELEVATION  
Not to Scale



3 EAST ELEVATION PHOTOGRAPH  
Not to Scale

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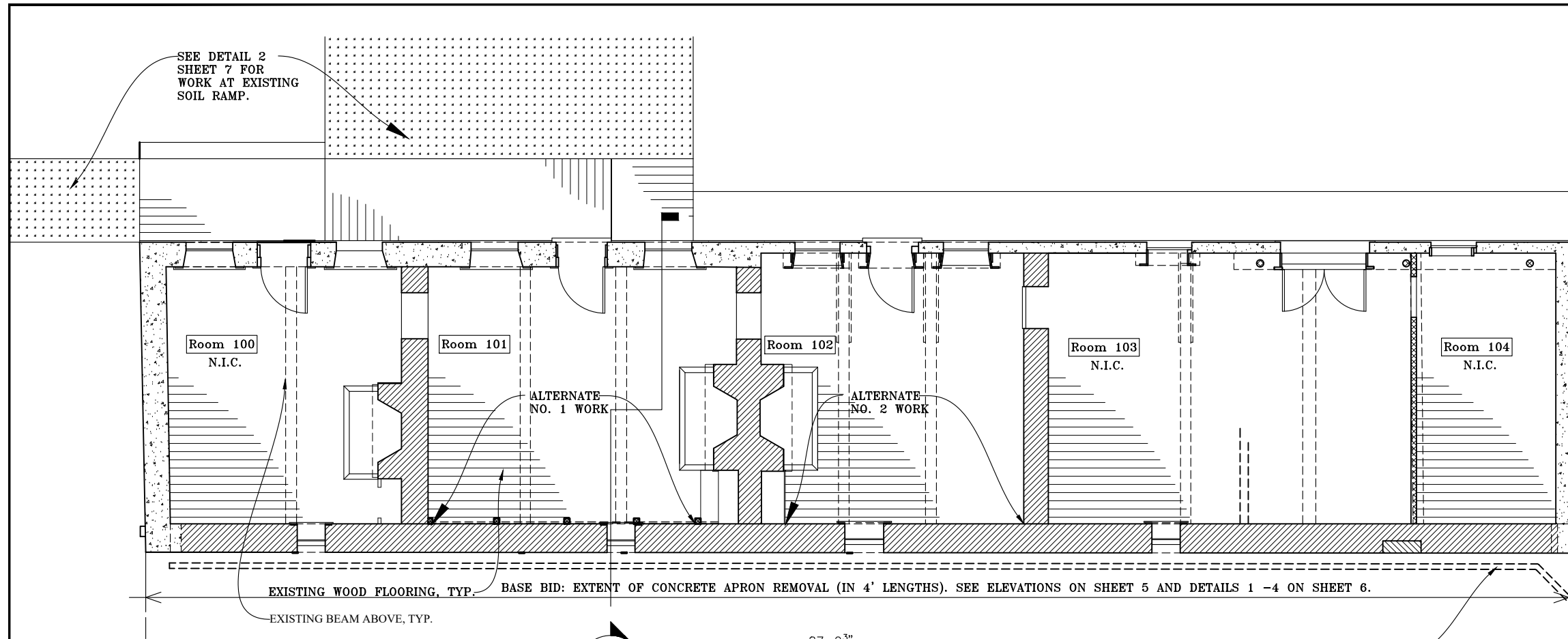
**MONTANA FISH,  
WILDLIFE & PARKS**

Fort Owen East Barracks Preservation - Phase II  
Term. & Cross Section Project #7216207 2/14/2023

Preservation Architect:  
Gilmore Franzen Consulting LLC  
180 North Low Bench Road  
Gallatin Gateway, MT 59730

SHEET: 3 of 7





- GENERAL CONSTRUCTION NOTES:
1. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
  2. SEE SHEET 3 FOR TERMINOLOGY AND BUILDING CROSS-SECTION.
  3. THE GOAL OF THIS PROJECT IS TO PRESERVE AND STABILIZE THE EAST FACADE. ROUGH EDGES AND UNLEVEL COURSING WILL REMAIN.
  4. SEE SPECIFICATIONS SECTION 045000 FOR SEQUENCING OF WORK.
  5. THE ADOBE ARE APPROXIMATELY 18" X 8" X 3 1/2" TO 4" TALL. THE MORTAR JOINTS RANGE FROM 1" TO 1 1/2" WIDE.
  6. REPLICA ADOBE HAVE BEEN FABRICATED AND SHALL BE FURNISHED TO THE CONTRACTOR FOR INSTALLATION. THERE IS NO ADOBE FABRICATION IN THIS PROJECT.

- ALTERNATE NO. 1 REPAIR NOTES:  
FOR FULL LENGTH OF EAST WALL IN ROOM #101, INCLUDING AT CLOSET EAST OF FIREPLACE:
1. REMOVE EXISTING NON-ORIGINAL WOOD BASEBOARD BETWEEN WOOD COLUMNS & SET ASIDE FOR REINSTALLATION. THE BASEBOARDS ARE TOE-NAILED TO THE COLUMNS.
  2. REMOVE TWO ADJACENT STRIPS OF WOOD FLOORING, FOR WALL ACCESS. SET ASIDE FOR REINSTALLATION.
  3. REMOVE THE TWO COATS OF NON-ORIGINAL PLASTER (INCL. TOPCOAT) FROM FLOOR UP TO 1" BELOW TOP OF BASEBOARD. ASSUME 12.5 SQUARE FEET OF SURFACE AREA OF PLASTER.
  4. REMOVE DETERIORATED ADOBE FROM INNER WYTHE AT BOTTOM COURSE OF WALL, OF VARYING DEPTH UP TO 9".
  5. PROVIDE REPLICA ADOBE FACES FOR REQUIRED DEPTH OF CAVITY. FOLLOW THE EXISTING BONDING (HEADER/STRETCHER) PATTERN.
  6. REINSTALL WOOD FLOORBOARDS.
  7. REINSTALL WOOD BASEBOARD, TOE-NAILING TO COLUMNS. PROVIDE FURRING STRIPS AS REQUIRED TO PLACE IN CORRECT PLANE AND PROVIDE VENTILATION.
  8. UNIT PRICE: REMOVE AND REPLACE DAMAGED ADOBE UNITS FROM THE SECOND COURSE, FOLLOWING THE EXISTING BONDING PATTERN. UNIT WILL BE A SINGLE ADOBE OF REQUIRED DEPTH.
  9. SEE DETAILS 1 & 2 ON SHEET 6.

- ALTERNATE NO. 2 REPAIR NOTES:  
FOR FULL LENGTH OF EAST WALL IN ROOM #102, INCLUDING AT CLOSET EAST OF FIREPLACE:
1. CAREFULLY REMOVE BOTH LENGTHS OF EXISTING ORIGINAL TWO-PART WOOD BASEBOARD & SET ASIDE FOR REINSTALLATION.
  2. REMOVE TWO ADJACENT STRIPS OF WOOD FLOORING, FOR WALL ACCESS. SET ASIDE FOR REINSTALLATION.
  3. CAREFULLY REMOVE ORIGINAL PLASTER FROM FLOOR UP TO 1" BELOW TOP OF BASEBOARD. ASSUME 12 SQUARE FEET OF SURFACE AREA OF PLASTER.
  4. REMOVE DETERIORATED ADOBE FROM INNER WYTHE AT BOTTOM COURSE OF WALL, OF VARYING DEPTH UP TO 9".
  5. PROVIDE REPLICA ADOBE FACES FOR REQUIRED DEPTH OF CAVITY. FOLLOW THE EXISTING BONDING (HEADER/STRETCHER) PATTERN.
  6. REINSTALL WOOD FLOORBOARDS.
  7. REINSTALL WOOD BASEBOARD, PROVIDING FURRING STRIPS AS REQUIRED TO PLACE IN CORRECT PLANE AND PROVIDE VENTILATION.
  8. UNIT PRICE: REMOVE AND REPLACE DAMAGED ADOBE UNITS FROM THE SECOND COURSE, FOLLOWING THE EXISTING BONDING PATTERN. UNIT WILL BE A SINGLE ADOBE OF REQUIRED DEPTH.
  9. SEE DETAILS 3 & 4 ON SHEET 6.

**1 FLOOR PLAN**  
Scale: 1/8" = 1'-0"



- EXISTING ORIGINAL WOOD BASEBOARD IN CLOSET TO REMAIN
- EXISTING NON-ORIGINAL TONGUE-AND-GROOVE WOOD FLOORING
- NON-ORIGINAL WOOD BASEBOARD, TOE-NAILED TO WOOD COLUMNS, TO BE REMOVED AND REINSTALLED AS PART OF ALT. NO. 1.

**2 ROOM #101 - East Wall**  
Not to Scale



- EXISTING ORIGINAL PLASTER
- ORIGINAL TWO-PART WOOD BASEBOARD TO BE REMOVED AND REINSTALLED CAREFULLY AS PART OF ALT. NO. 2.
- EXISTING NON-ORIGINAL TONGUE-AND-GROOVE WOOD FLOORING
- EXISTING ORIGINAL ONE-PIECE WOOD BASEBOARD IN CLOSET TO REMAIN

**3 ROOM #102 - East Wall**  
Not to Scale



**4 ROOM #102 - South Closet**  
Not to Scale

NOTE: THE DRAWING SCALES ARE ONLY APPLICABLE WHEN THE SHEET IS PRINTED ON 11" X 17" PAPER.

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Fort Owen East Barracks Preservation - Phase II  
Floor Plan 143 Project #7216207 2/14/2023

Preservation Architect:  
Gilmore Franzen Consulting LLC  
180 North Low Bench Road  
Gallatin Gateway, MT 59730

SHEET: 4 of 7

Concrete masonry units wrapping around corner from south elevation, installed c.1948, are to remain above the apron line.

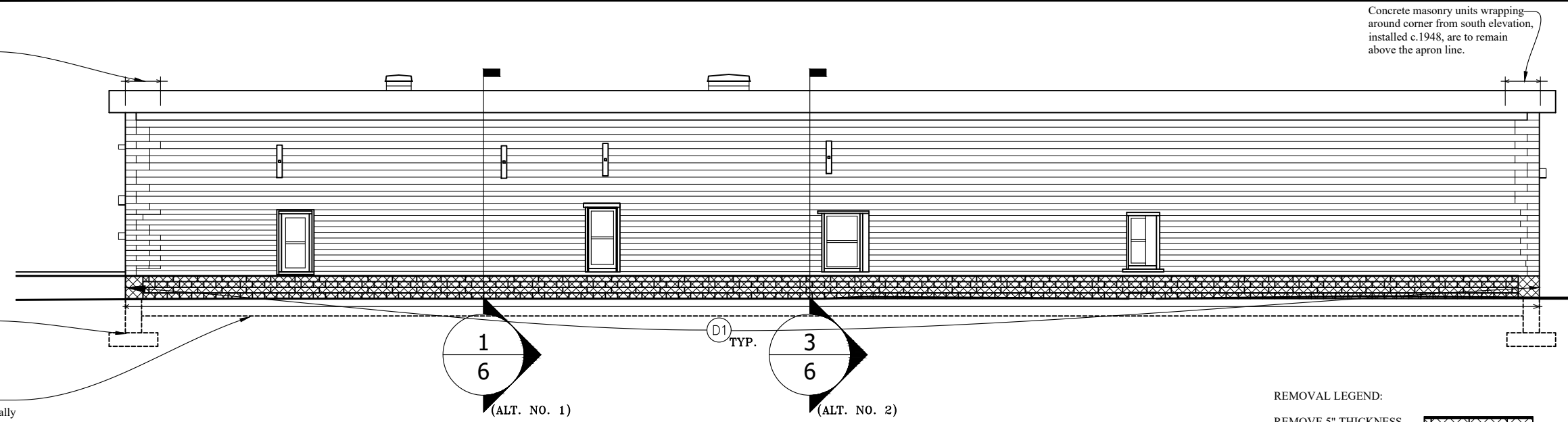
Concrete masonry units wrapping around corner from south elevation, installed c.1948, are to remain above the apron line.

Concrete foundation and footing at south and north walls, per drawings dated 4/16/1993.

18"-24" deep rubble stone foundation, have been partially replaced with poured concrete.

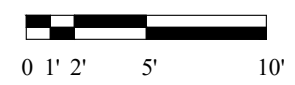
- GENERAL CONSTRUCTION NOTES:
1. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
  2. SEE SHEET 3 FOR TERMINOLOGY AND BUILDING CROSS-SECTION.
  3. THE GOAL OF THIS PROJECT IS TO PRESERVE AND STABILIZE THE EAST FACADE. ROUGH EDGES AND UNLEVEL COURSING WILL REMAIN.
  4. SEE SPECIFICATIONS SECTION 045000 FOR SEQUENCING OF WORK.
  5. THE ADOBE ARE APPROXIMATELY 18" X 8" X 3 1/2" TO 4" TALL. THE MORTAR JOINTS RANGE FROM 1" TO 1 1/2" WIDE.
  6. REPLICA ADOBE HAVE BEEN FABRICATED AND SHALL BE FURNISHED TO THE CONTRACTOR FOR INSTALLATION. THERE IS NO ADOBE FABRICATION IN THIS PROJECT.

- ITEMIZED SELECTIVE DEMOLITION NOTES:
- D1. REMOVE CONCRETE APRON IN 4'-LONG SECTIONS, TO THICKNESS OF 5", DOWN TO GRADE. USE WOOD CRIBBING TO SUPPORT ADOBE WALL ABOVE. REVEAL THE ORIGINAL ADOBE, TAKING CARE TO RETAIN AS MUCH ADOBE AS POSSIBLE. UPON EXPOSURE, REMOVE ANY LOOSE AND CRUMBLING CONCRETE AND ADOBE. SEE SPECIFICATIONS FOR REMOVAL METHOD.



# 1 EAST ELEVATION - SELECTIVE DEMOLITION

Scale: 1/8" = 1'-0"



REMOVAL LEGEND:

REMOVE 5" THICKNESS OF CONCRETE APRON, DOWN TO GRADE LEVEL.

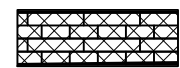
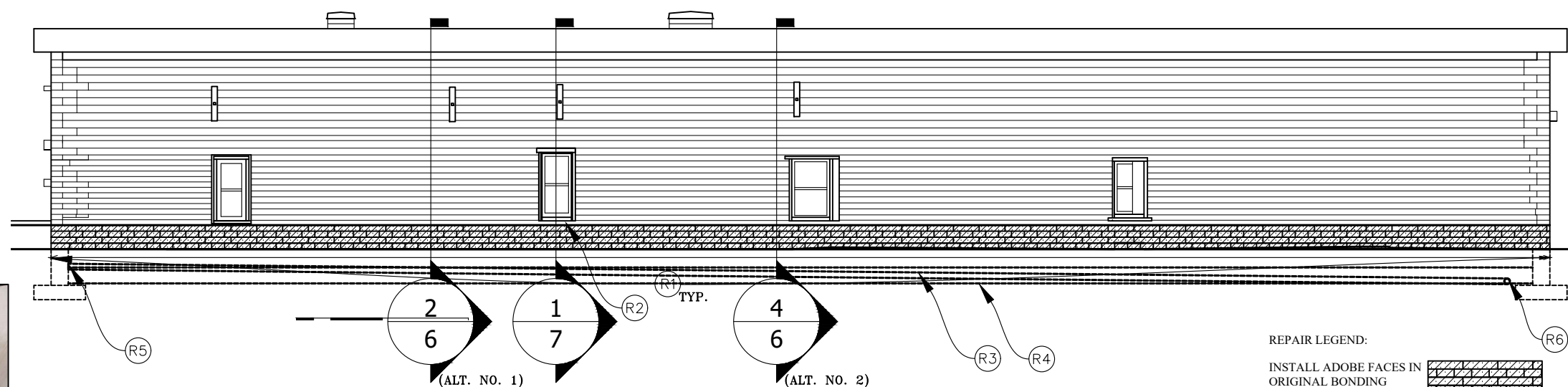


Photo of Representative Wall Area  
Window into Room #102, at East Wall

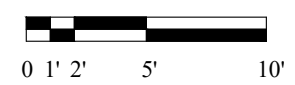


Photo of Representative Test Pit at East Wall  
Showing stone foundation and concrete plinth above



# 2 EAST ELEVATION - REPAIRS

Scale: 1/8" = 1'-0"



REPAIR LEGEND:

INSTALL ADOBE FACES IN ORIGINAL BONDING PATTERN, FOR EXTENT SHOWN.

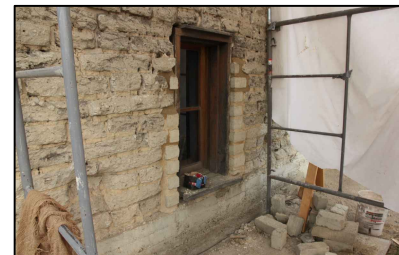
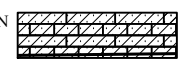


Photo of Representative Wall Area  
Exterior of Window into Room #100, at East Wall



Photo of Representative Wall Area  
South End of East Wall

- ITEMIZED REPAIR NOTES:
- R1. INSTALL REPLICA ADOBE FACES, IN ORIGINAL COURSING AND BONDING PATTERNS, PER DETAILS ON SHEET 6.
  - R2. RETAIN EXISTING WOOD EXTENSION THAT EXTENDS 1" BEYOND ADOBE WALL BELOW. COAT SILL WITH LINSEED OIL TREATMENT. SEE DETAIL 1 SHEET 7.
  - R3. PROVIDE SLOPED FOUNDATION DRAIN PER DETAIL 2 SHEET 6.
  - R4. DASHED LINE IS STONE FOOTING.
  - R5. CAP END OF DRAIN PIPE.
  - R6. DRAIN PIPE HEADS NORTHEAST AT THIS POINT. SEE PLAN 1 SHEET 2, PLAN 1 SHEET 4, AND DETAIL 3 SHEET 7.

NOTE: THE DRAWING SCALES ARE ONLY APPLICABLE WHEN THE SHEET IS PRINTED ON 11" X 17" PAPER.

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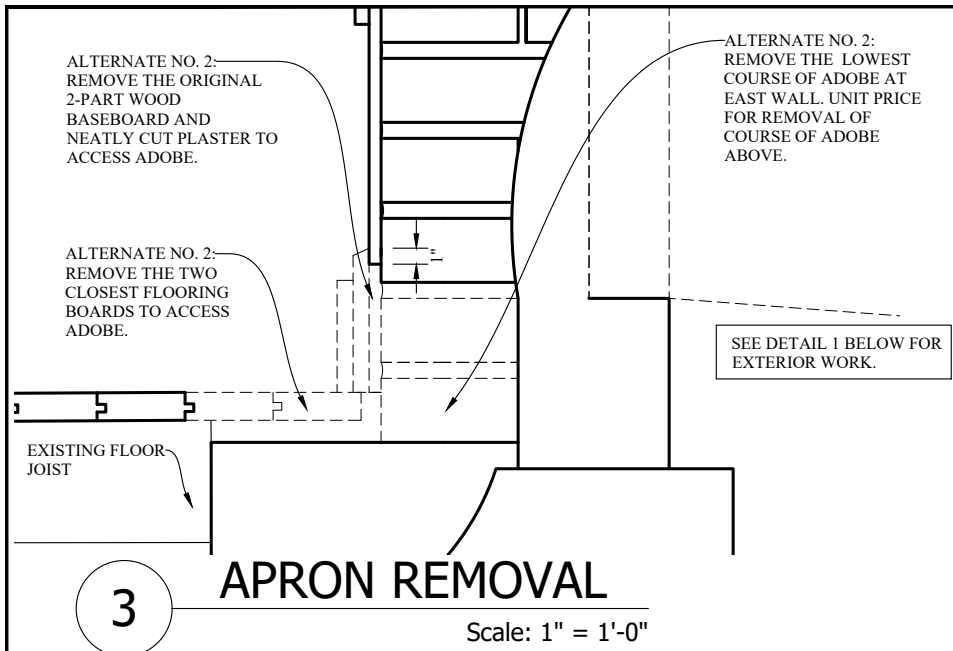
Fort Owen East Barracks Preservation - Phase II  
East Elevations Project #7216207

2/14/2023

Preservation Architect:  
Gilmore Franzen Consulting LLC  
180 North Low Bench Road  
Gallatin Gateway, MT 59730

SHEET: 5 of 7



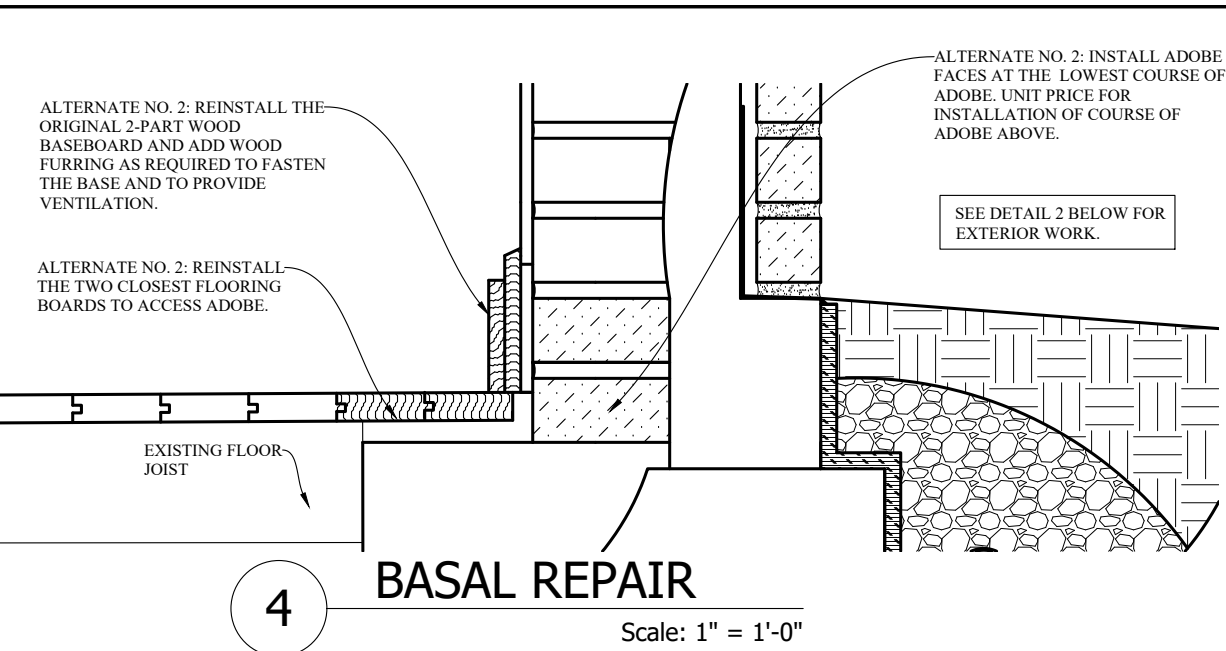


ALTERNATE NO. 2: REMOVE THE ORIGINAL 2-PART WOOD BASEBOARD AND NEATLY CUT PLASTER TO ACCESS ADOBE.

ALTERNATE NO. 2: REMOVE THE TWO CLOSEST FLOORING BOARDS TO ACCESS ADOBE.

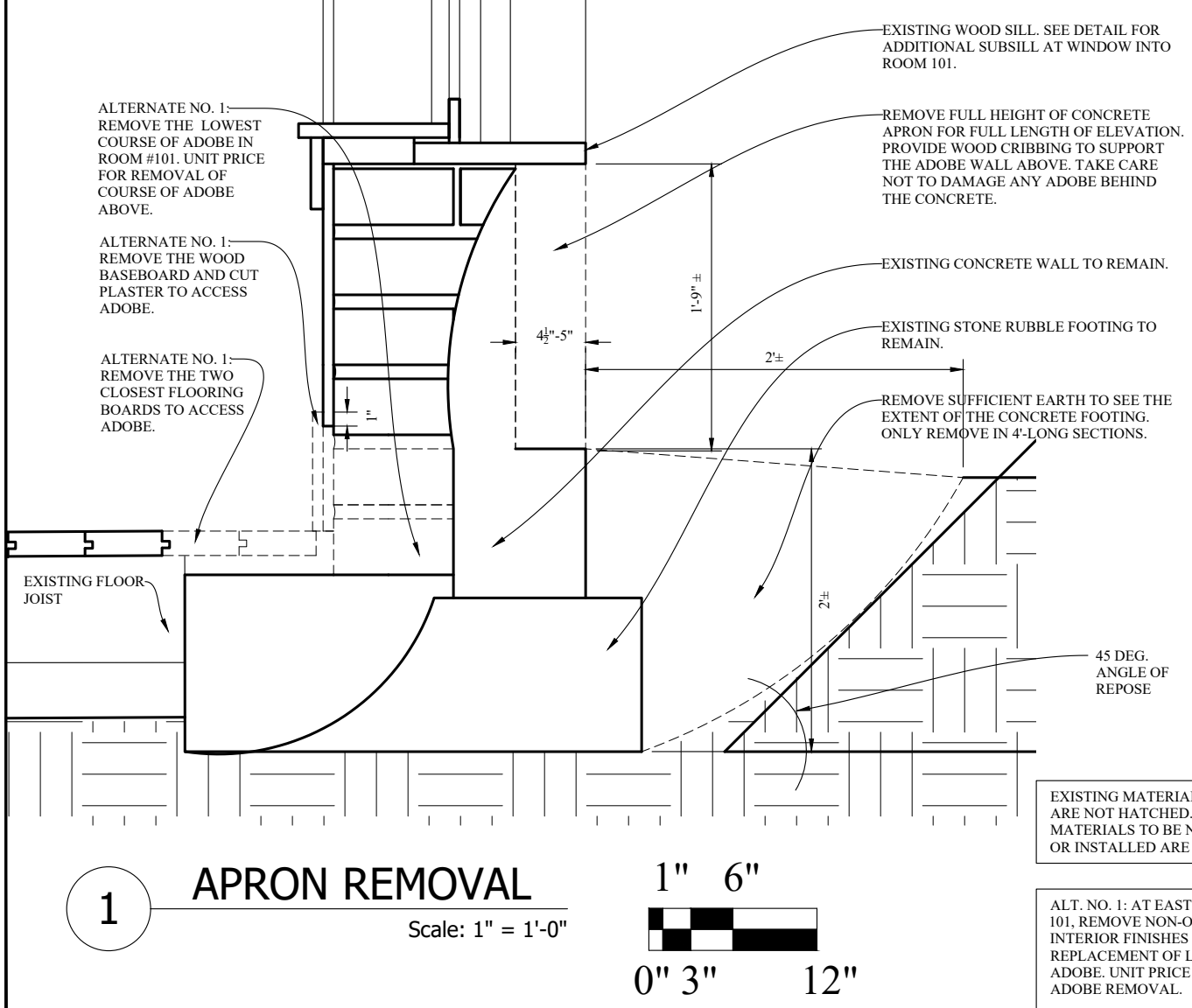
ALTERNATE NO. 2: REMOVE THE LOWEST COURSE OF ADOBE AT EAST WALL. UNIT PRICE FOR REMOVAL OF COURSE OF ADOBE ABOVE.

SEE DETAIL 1 BELOW FOR EXTERIOR WORK.



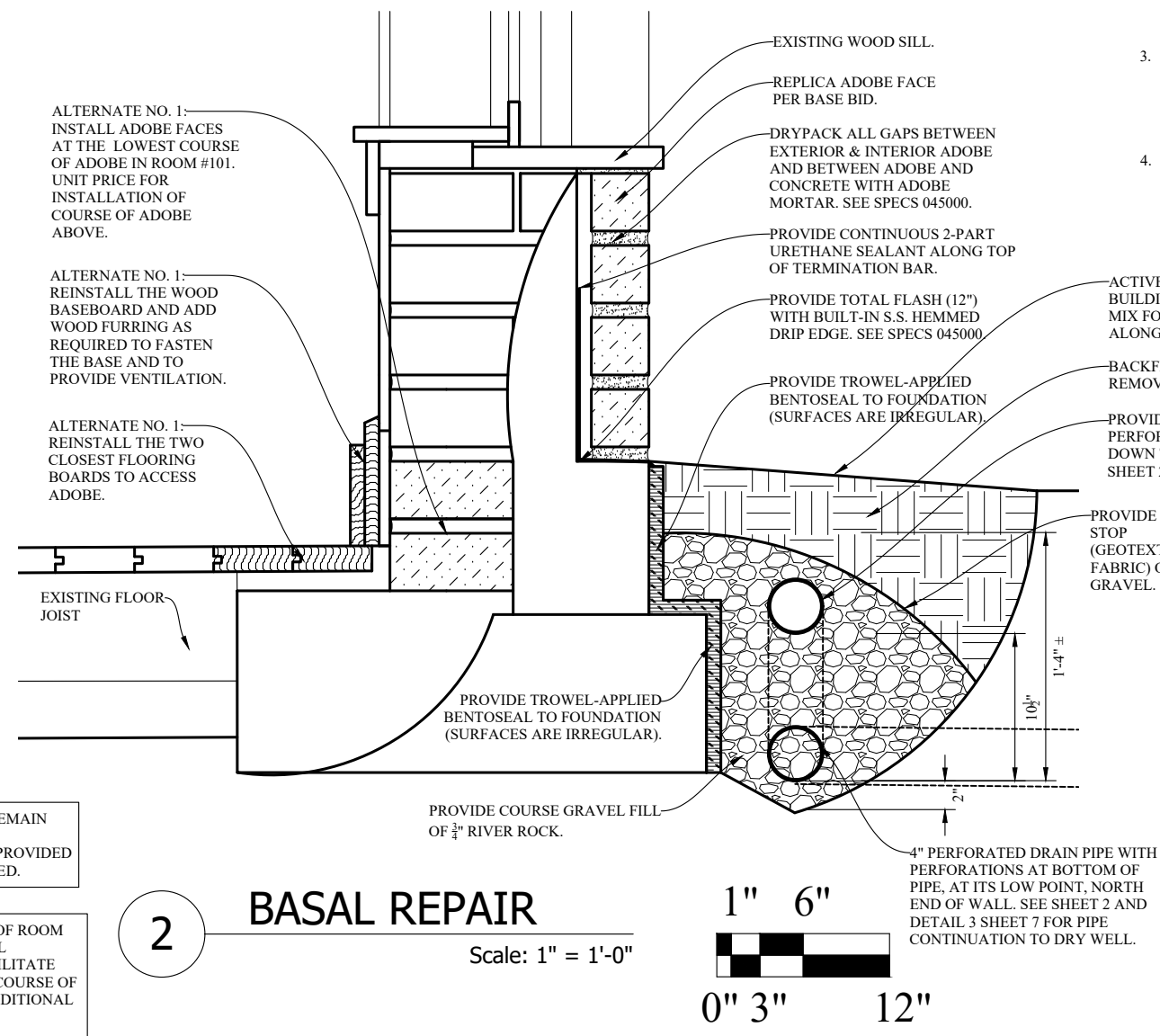
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  3. THE GOAL OF THIS PROJECT IS TO PRESERVE AND STABILIZE THE EAST FACADE. ROUGH EDGES AND UNLEVEL COURSING WILL REMAIN.
  4. SEE SPECIFICATIONS SECTION 045000 FOR SEQUENCING OF WORK.
  5. THE ADOBE ARE APPROXIMATELY 18" X 8" X 3 1/2" TO 4" TALL. THE MORTAR JOINTS RANGE FROM 1" TO 1 1/2" WIDE.
  6. REPLICA ADOBE HAVE BEEN FABRICATED AND SHALL BE FURNISHED TO THE CONTRACTOR FOR INSTALLATION. THERE IS NO ADOBE FABRICATION IN THIS PROJECT.

- THIS WALL WORK INCLUDES THE FOLLOWING REQUIREMENTS:
1. CONTRACTOR SHALL ASSUME THE THICKNESS OF THE CONCRETE APRON IN FRONT OF THE ORIGINAL ADOBE RANGES FROM 3"-12". CONTRACTOR SHALL REMOVE THE OUTER 4" OF THE CONCRETE APRON AS SHOWN ON THE DRAWINGS.
  2. THE FOUNDATION OF THE ADOBE WALL IS SURMISED TO BE AS SHOWN: POURED CONCRETE IN FRONT OF ADOBE. ASSUMED THICKNESS RANGES FROM 3" - 12".
  3. DIGGING ALONG THIS EXTERIOR WALL WILL REQUIRE ARCHAEOLOGICAL OVERSIGHT. THIS AREA DOES NOT APPEAR TO HAVE BEEN THE SUBJECT OF PRIOR DOCUMENTED ARCHAEOLOGICAL EXPLORATION.
  4. MT FISH WILDLIFE & PARKS WILL PROVIDE THE ARCHAEOLOGICAL OVERSIGHT. CONTRACTOR WILL COORDINATE WITH CONSULTANT AND BE PREPARED TO STOP WORK TEMPORARILY TO ALLOW STUDY.



EXISTING MATERIALS TO REMAIN ARE NOT HATCHED. ONLY MATERIALS TO BE NEWLY PROVIDED OR INSTALLED ARE HATCHED.

ALT. NO. 1: AT EAST WALL OF ROOM 101, REMOVE NON-ORIGINAL INTERIOR FINISHES TO FACILITATE REPLACEMENT OF LOWER COURSE OF ADOBE. UNIT PRICE FOR ADDITIONAL ADOBE REMOVAL.



EXISTING MATERIALS TO REMAIN ARE NOT HATCHED. ONLY MATERIALS TO BE NEWLY PROVIDED OR INSTALLED ARE HATCHED.

ALT. NO. 1: AT EAST WALL OF ROOM 101, INSTALL ADOBE FACES AS SHOWN. UNIT PRICE FOR ADDITIONAL ADOBE FACE INSTALLATION. REINSTALL NON-ORIGINAL INTERIOR BASEBOARD AND FLOOR BOARDS.

ALT. NO. 2: AT EAST WALL OF ROOM 102, INSTALL ADOBE FACES AS SHOWN. UNIT PRICE FOR ADDITIONAL ADOBE FACE INSTALLATION. REINSTALL ORIGINAL INTERIOR TWO-PART BASEBOARD AND NON-ORIGINAL FLOOR BOARDS.

NOTE: THE DRAWING SCALES ARE ONLY APPLICABLE WHEN THE SHEET IS PRINTED ON 11" X 17" PAPER.

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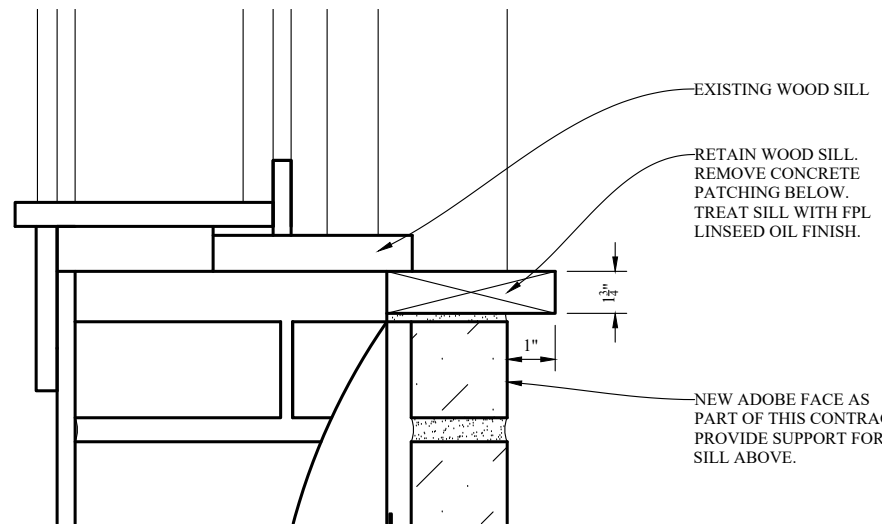
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Fort Owen East Barracks Preservation - Phase II  
Details Project #7216207 2/14/2023

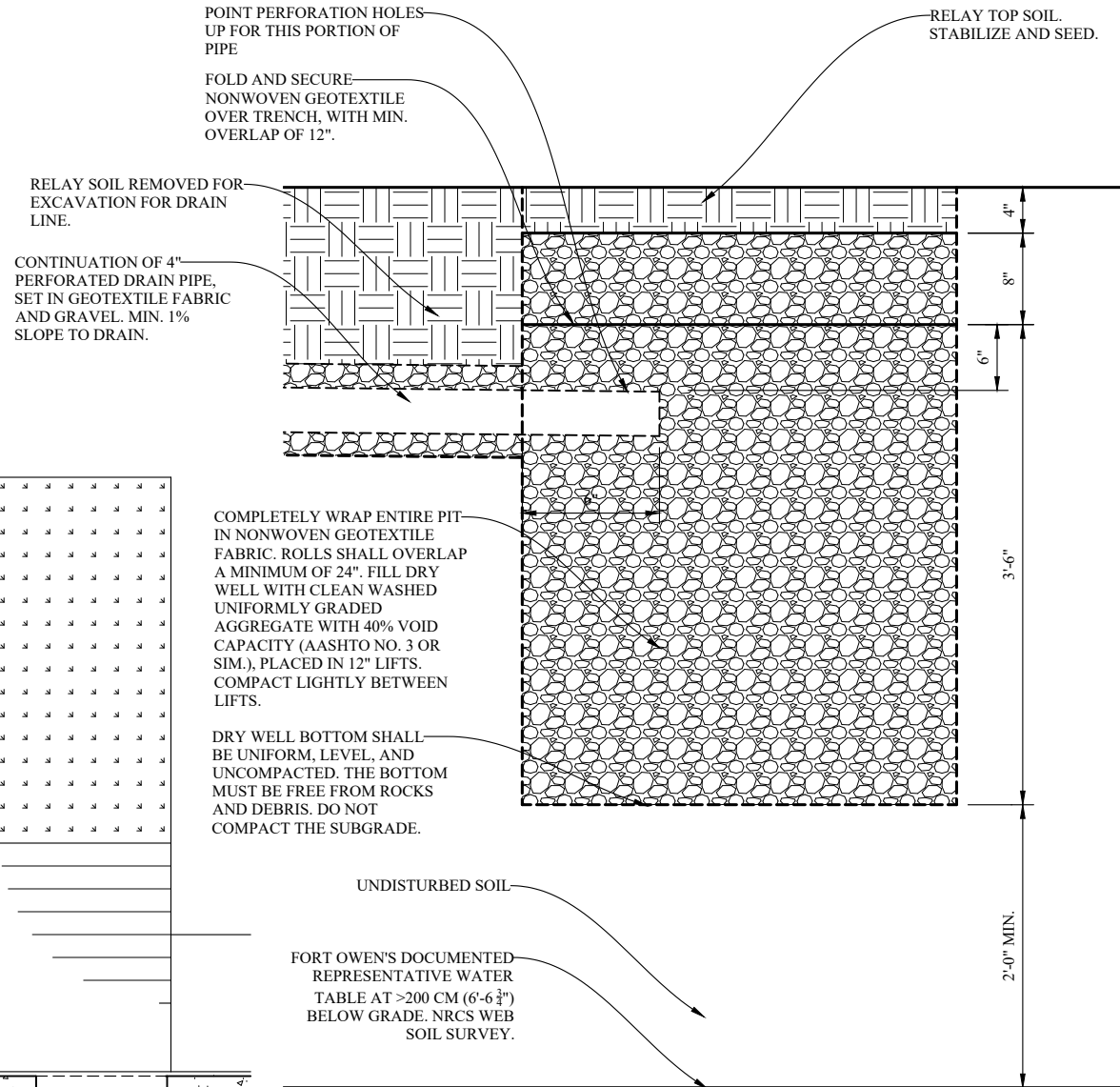
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SHEET: 6 of 7

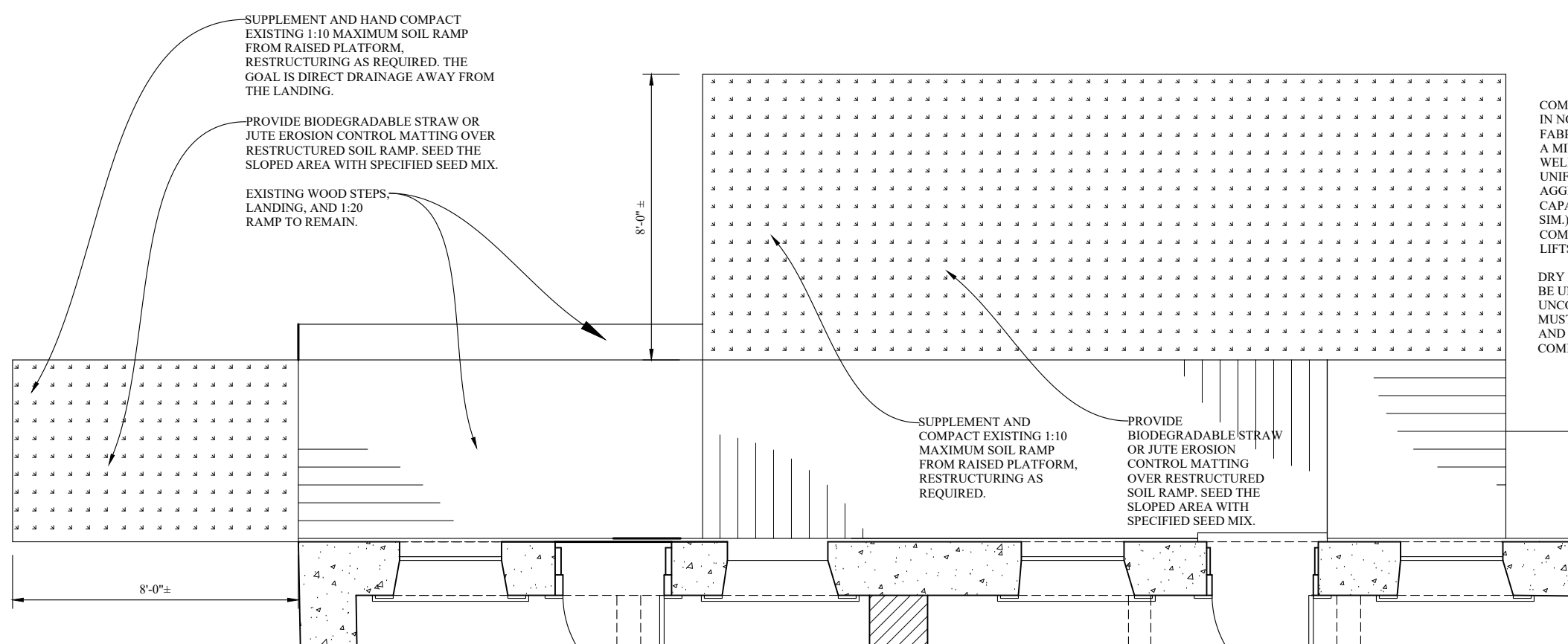


- GENERAL CONSTRUCTION NOTES:
1. SEE OTHER SHEETS IN THIS SET FOR ADDITIONAL INFORMATION.
  2. SEE SHEET 3 FOR TERMINOLOGY AND BUILDING CROSS-SECTION.
  3. THE GOAL OF THIS PROJECT IS TO PRESERVE AND STABILIZE THE EAST FACADE. ROUGH EDGES AND UNLEVEL COURSING WILL REMAIN.
  4. SEE SPECIFICATIONS SECTION 045000 FOR SEQUENCING OF WORK.
  5. THE ADOBE ARE APPROXIMATELY 18" X 8" X 3 1/2" TO 4" TALL. THE MORTAR JOINTS RANGE FROM 1" TO 1 1/2" WIDE.
  6. REPLICA ADOBE HAVE BEEN FABRICATED AND SHALL BE FURNISHED TO THE CONTRACTOR FOR INSTALLATION. THERE IS NO ADOBE FABRICATION IN THIS PROJECT.
  7. THE SOIL AT FORT OWEN IS OF THE HYDROLOGIC SOIL GROUP B, HENCE MODERATELY AND SUFFICIENTLY INFILTRABLE AND WELL SUITED FOR A DRY WELL. NRCS WEB SOIL SURVEY FOR FORT OWEN SITE.
  8. EXCAVATION FOR THE DRY WELL SHALL BE PERFORMED WITH THE LIGHTEST PRACTICAL EQUIPMENT SHALL BE LOCATED OUTSIDE THE LIMITS OF THE DRY WELL.

**1 SUBSILL - WINDOW 101**  
Scale: 1-1/2" = 1'-0"  
0" 1" 6" 12"



**3 DRY WELL SECTION**  
Scale: 3" = 1'-0"



**2 SOIL AMENDMENT AT ENTRY**  
Scale: 1/4" = 1'-0"

NOTE: THE DRAWING SCALES ARE ONLY APPLICABLE WHEN THE SHEET IS PRINTED ON 11" X 17" PAPER.

LMGilmore 2/14/2023  
DRAWN BY: DATE:  
# CHECKED BY: DATE: #

APPROVED BY: DATE:  
APPROVED BY: DATE:



Fort Owen East Barracks Preservation - Phase II  
Details Project #7216207 2/14/2023

Preservation Architect:  
Gilmore Franzen Consulting LLC  
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SHEET: 7 of 7